

# CHARTER TOWNSHIP OF FLUSHING

6524 N. Seymour Road, Flushing, MI 48433

P (810) 659-0800 F (810) 659-4212

www.flushingtowship.com

## PLANNING COMMISSION AGENDA

**DATE: January 8, 2024 TIME: 7:00 P.M.**

### MEMBERS OF PLANNING COMMISSION

Chair – Vicki Peivandi

Vice Chair – William Mills

Secretary – Amy Bolin

Board of Trustees Representative – Terry A. Peck

Jeanette Sizemore, Recording Secretary

Kyle Raup

Timothy Lloyd

Michael Moon

#### **I. CALL THE MEETING TO ORDER**

ROLL CALL

PLEDGE OF ALLEGIANCE

#### **II. APPROVAL OF AGENDA**

#### **III. APPROVAL OF PREVIOUS MINUTES**

December 11, 2023

#### **IV. PUBLIC COMMENTS FOR AGENDA ITEMS ONLY**

Each speaker limited to three minutes

#### **V. UNFINISHED BUSINESS**

None

#### **VI. NEW BUSINESS**

1. Public Hearing and motion on the Special Use Permit for a Cell Tower to be located at 7235 W. Coldwater Road, Flushing, MI 48433, Parcel No. 08-24-200-036, pursuant to *Article XVIII Special Use Permits*
2. Motion on the Site Plan Review for a Cell Tower to be located at 7235 W. Coldwater Road, Flushing, MI 48433, Parcel No. 08-24-200-036, pursuant to *Article XVIII Site Plan*.
3. Discussion and possible motion on 2023 Planning Commission Report.

**VII. PUBLIC COMMENTS**

Each speaker limited to three minutes

**VIII. ZONING ADMINISTRATOR COMMENTS**

**IX. COMMISSION COMMENTS**

**X. NEXT REGULAR SCHEDULED MEETING**

MONDAY, FEBRUARY 12, 2023 AT 7:00 P.M.

**XI. ADJOURNMENT**

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**CHRISTOPHER J. CZYZIO, Zoning Administrator**

# RJP CONSULTING

December 11, 2023

RECEIVED

DEC 12 2023

CHARTER TOWNSHIP  
OF FLUSHING

Chris Czyzio  
Zoning Administrator  
Flushing Township  
6524 N. Seymour Road  
Flushing, MI 48433

**RE: Verizon Wireless Zoning Application at 7235 Coldwater Road**

Dear Mr. Czyzio:

Please accept this letter containing the information required under Section 20-1805 TOWER ORDINANCE in the Flushing Township zoning ordinance as a part of our zoning application.

## **Section E General Requirements**

(1) The proposed wireless communication facility is considered an accessory use on this parcel.

(2) The proposed tower meets all required setbacks.

(3) Please see exhibit A. This map shows all existing towers within a 3.5-mile radius of the proposed facility.

(4) (a) The proposed monopole tower will be a galvanized grey color.

(b) The ground equipment including the equipment cabinets will be a steel finish. They will also be screened from the surrounding area by existing vegetation.

(c) Not applicable

(5) The proposed tower will not be lit.

(6) The proposed tower will meet all FAA, FCC and state regulations.

(7) The applicant will comply with this requirement.

(8) The applicant will comply with this standard.

(9) This is a statement, and no response is required.

(10) The applicant has a license from the FCC to operate within Flushing Township. At the request of the township, we will provide a copy of the license.

(11) This is a statement, and no response is required.

(12) The applicant will comply with this requirement.

(13) The applicant will comply with this requirement.

(14) This is the only proposed facility within the township at this time.

#### **Section F Permitted Uses**

This section is not applicable.

#### **Section G Administratively Approved Uses**

This section is not applicable.

#### **Section H Use After Special Approval**

(1) This section does not require a response as it is informational in nature.

(2) (a) 1. See exhibit B.

2. See exhibit B.

3. See exhibit B. The nearest residential unit is 984'.

4. See exhibit A. The nearest tower is over 1.7 miles away from the proposed tower.

5. A landscape plan is not necessary due to existing dense vegetation and the extensive setbacks to existing property lines and residential units.

6. See exhibit B. A six-foot high chain link fence with three strains of barbed wire on top is proposed.

7. This letter addresses those subsections.

8. See exhibit C. The proposed tower will accommodate two additional wireless carriers.

9. The backhaul provider will be determined once the bid process is complete with all local fiber optic providers. If fiber is unavailable in the area, then microwave will be used.

10. There are no existing towers or tall structures in the area that will meet Verizon's coverage objectives. It is always Verizon's top priority to collocate on existing structures whenever possible. Unfortunately, in this situation that is not possible. See attached exhibit D for the radio frequency maps that show the gap in coverage and the need for this proposed tower.

11. There are no additional towers proposed in Flushing Township at this time.

12. See exhibit E.

13. See exhibit E.

14. Certification by a licensed engineer is not feasible, the proposed facility will operate within frequencies owned by Verizon Wireless and regulated by the FCC. The FCC is the governing body that regulates and enforces frequency use. Operating within its frequencies, Verizon will not interfere with any other frequency just like we currently do in the township. Verizon will operate within its existing frequencies and therefore will comply with this requirement.

(b) 1. The proposed tower is 195'. This is the minimum height necessary to meet the coverage objectives and avoid having to light the tower as well as provide usable tower space for collocators.

2. The nearest residential structure is 984' away and the tower exceeds all setback requirements.

3. The surrounding area is all farmland and rural residential making this the ideal location for a wireless communication facility.

4. The surrounding topography is flat.

5. There is extensive tree foliage and coverage in the area on the parent parcel. The existing tree coverage and vegetation make an excellent natural screening buffer to help mitigate the visual esthetics of the proposed facility.

6. The proposed tower will be a monopole design and its slender profile makes it less visually obtrusive than a guyed or lattice tower.

7. The proposed ingress/egress easement will come directly off Coldwater Road. A 12-15' wide gravel drive will be constructed.

8. There are no existing towers or tall structures in the area that will meet Verizon's coverage objectives. It is always Verizon's top priority to collocate on existing structures whenever possible. Unfortunately, in this situation that is not possible. See exhibit D for radio frequency maps that show the gap in coverage and the need for this proposed tower.

(c) 1. There are no existing towers or tall structures in the area that will meet Verizon's coverage objectives. It is always Verizon's top priority to collocate on existing structures whenever possible. Unfortunately, in this situation that is not possible. See exhibit D for the radio frequency maps that show the gap in coverage and the need for this proposed tower.

2. There are no existing towers within a 1.7-mile radius of the proposed tower, so the height does not matter.

3. There are no existing towers within a 1.7-mile radius of the proposed tower, so the structural capacity does not matter.

4. This is not applicable, there will be no interference.

5. There are no existing towers within a 1.7-mile radius of the proposed tower, so the cost does not matter.

6. The existing towers are too far away to meet the coverage objectives and fill the coverage gap in Verizon's network. In addition, Verizon is already on all of the surrounding towers.

7. There is no alternative technology that could be used instead of a tower. Microcells or "small cells" are designed to be used in dense urban areas where their effective range is 600' or less. They would not be effective in a rural area like this.

(d) 1. See exhibit B. The proposed tower is setback 200' from the closest property line thus exceeding this standard.

2. See exhibit B. The proposed accessory equipment meets this standard.

(e), (f) 1 and 2 See exhibit B. The proposed tower meets or exceeds all the setback requirements in Table 1.

(g) (1) See exhibit A. The proposed tower exceeds the tower separation distances in Table 2. The nearest tower is over 1.7 miles away and Verizon is on it.

(h) The applicant has met this requirement. A six-foot high chain link fence with three strains of barbed wire on top is proposed.

(i) There is extensive tree foliage and coverage in the area on the parent parcel. The existing tree coverage and vegetation make an excellent natural screening buffer to help mitigate the visual esthetics of the proposed facility. A landscaping plan is not necessary.

## **GENERAL IMPACT**

### **Earth, Air, Water, Plant Life, Animal Life**

The proposed project includes minimal grading. Access to the site is by a proposed gravel driveway from Coldwater Road. There will be no air emissions from the equipment. No animal life will be disrupted because of this project.

### **Noise**

The proposed facility will be operated within the township noise standards.

### **Light and Glare**

Additional lighting is not proposed with the development of this facility.

### **Land Use**

The proposed unmanned wireless telecommunications facility will include antennas and associated equipment. The use is consistent with the underlying zoning and general plan.

### **Natural Resources**

The proposed facility uses little power and is not expected to significantly increase consumption of or demand for natural resources.

### **Risk of Upset**

The proposed equipment incorporates adequate safety measures and precautions. Each facility is electronically monitored 24 hours a day for intrusion and environmental disruption. The facility will also contain a small sign identifying the site as a Verizon Wireless facility and a 1-800 number to call in case of an emergency (staffed 24 hours a day by Verizon Wireless employees). Verizon Wireless will comply with all FCC regulations regarding signage at the facility.

To provide back-up power, the project does include a propane gas-powered generator and batteries. The generator will be located on a concrete pad. The generator is monitored 24 hours a day via an alarm system. A 1,000-gallon propane tank will be located on a concrete pad. The batteries are located inside an equipment cabinet.

### **Population and Housing**

The proposed Verizon Wireless unmanned wireless telecommunication facility will not affect population or housing trends in the area.

### **Transportation and Circulation**

The proposed Verizon Wireless facility will have minimal impact on traffic and circulation. Peak travel to the proposed project will be limited to the initial construction of the facility, which should take approximately six to eight weeks. After construction is complete, the facility will be visited two to three times a month for routine maintenance.

### **Public Services, Energy and Utilities**

The small, unmanned facility will not generate demand for additional public services and will not increase demand upon existing energy sources. The equipment will connect to and use utility systems (electrical and fiber optic lines) that are already present on the subject parcel. The proposed facility will not require the use of services such as water or sewer. Electrical power and fiber optic services are the only necessary utilities.

### **Human Health**

The proposed Verizon Wireless facility falls significantly below all state and federal regulations for emissions of non-ionizing radiation. All antenna facilities (including radio and television

broadcasting, microwave and cellular communications, ham radios and police radar) emit a small amount of non- ionizing radio frequency radiation.

### **Aesthetics**

The new tower will be a monopole and galvanized grey in color. The equipment cabinets, generator, and propane tank will be located adjacent to the tower and screened by existing vegetation and tree cover.

### **Recreation**

The proposed unmanned wireless telecommunication facility will have no impact on existing recreational facilities.

### **Archaeological and Historical Resources**

The proposed facility will not have any impact on the archaeological and historic resources of the area.

### **Site Maintenance**

A Verizon Wireless technician, for routine inspection and equipment maintenance, will visit the site two to four times per month. In addition, the equipment cabinets, radio equipment and tower are monitored via an alarm system. Should an alarm be activated, the site will be visited.

### **CONCLUSION**

The establishment of this telecommunications facility will not be detrimental to the public health, safety or welfare of persons residing or working in the area, or be materially injurious to the neighborhood, or the general welfare of Flushing Township. The proposed facility will not place any burden on traffic, nor will it result in objectionable levels of noise, odor, dust, or dirt.

The proposed facility will be a link to important communication infrastructure. Individuals and businesses will be able to access wireless communications to stay in business, to expand their business, to provide personal convenience, or to strengthen personal safety and the ability to communicate on demand with business, government, family and friends.

In addition, the energy emitted is well below or within the parameters established by the FCC. The proposed Verizon Wireless facility will not interfere with any police, fire or emergency communications, or nearby televisions or radios due to the separation in the frequency ranges by Verizon Wireless and from those used by other communication devices. The FCC controls and regulates the operation of all the telecommunication equipment and devices to be used at this proposed facility. The proposed facility will conform to all FCC standards and regulations.

Please call me at (248) 613-4399 if you have any questions. Thank you in advance for your prompt attention to this matter.

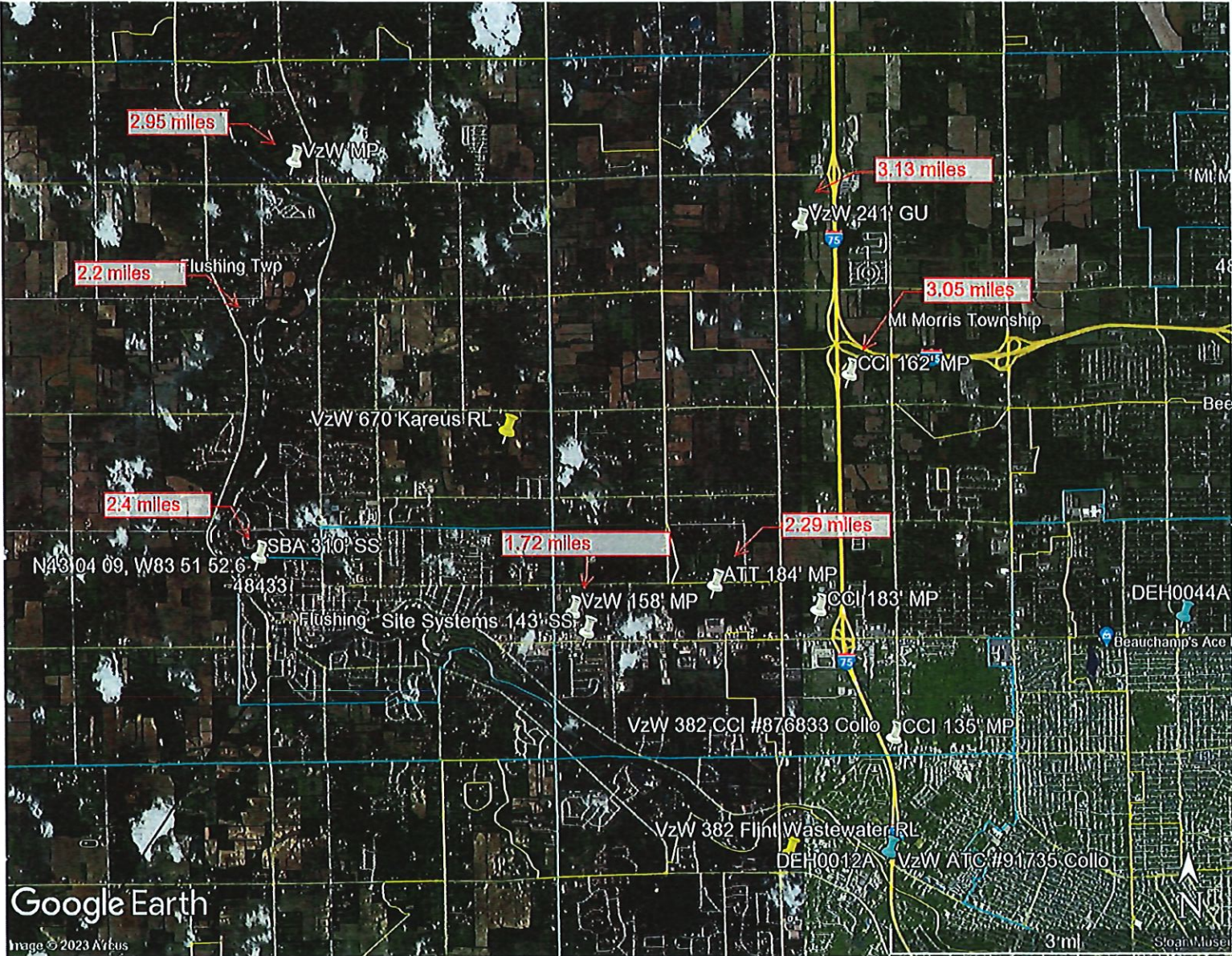


Sincerely,

A handwritten signature in black ink, appearing to read "Bob Przybylo". The signature is stylized and cursive.

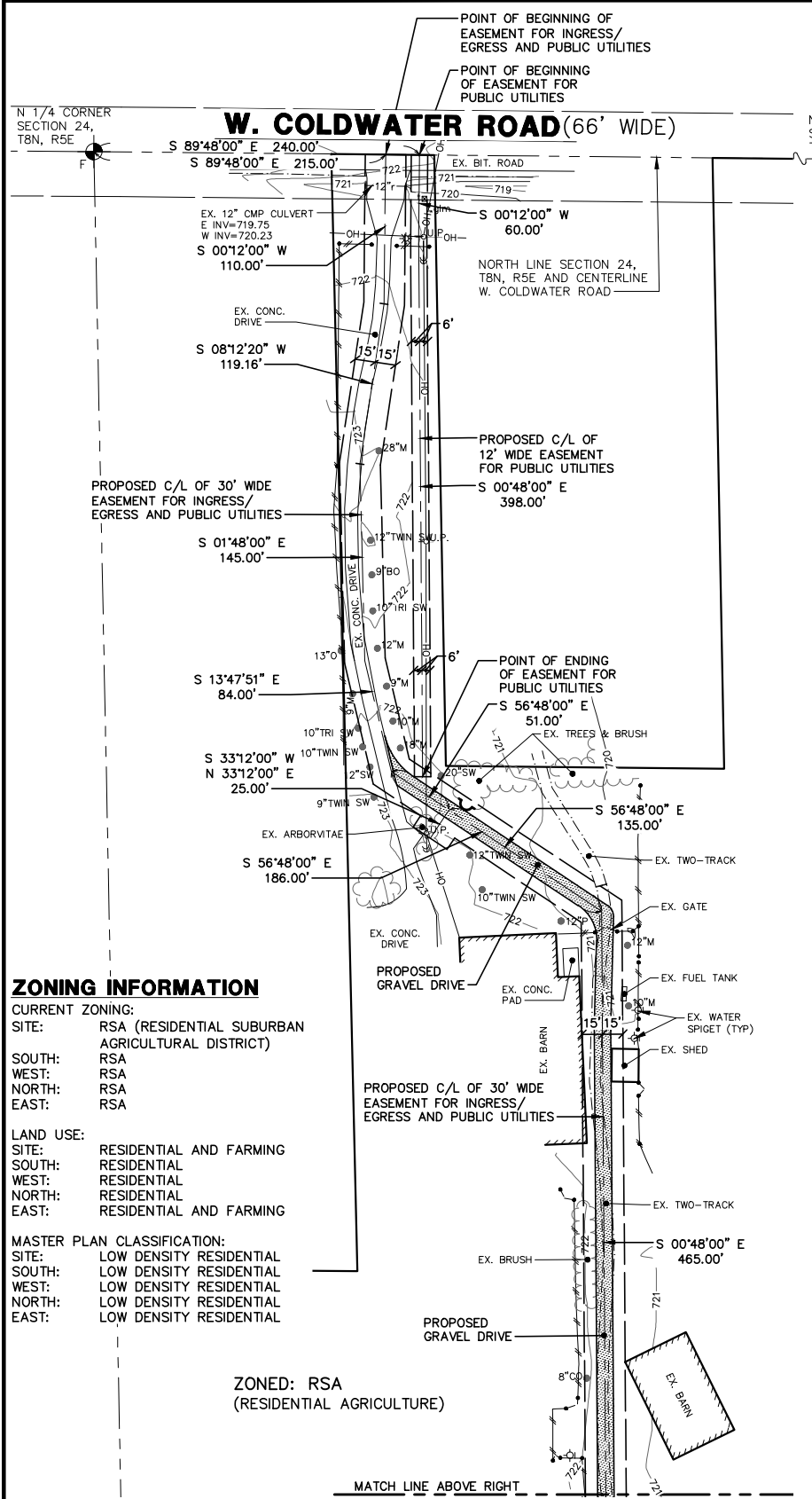
Bob Przybylo  
RJP Consulting, Inc. o/b/o Verizon Wireless

# **EXHIBIT A**



# EXHIBIT B

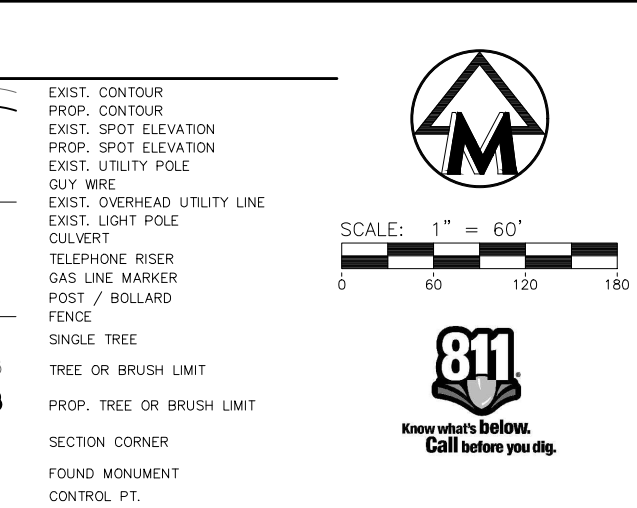
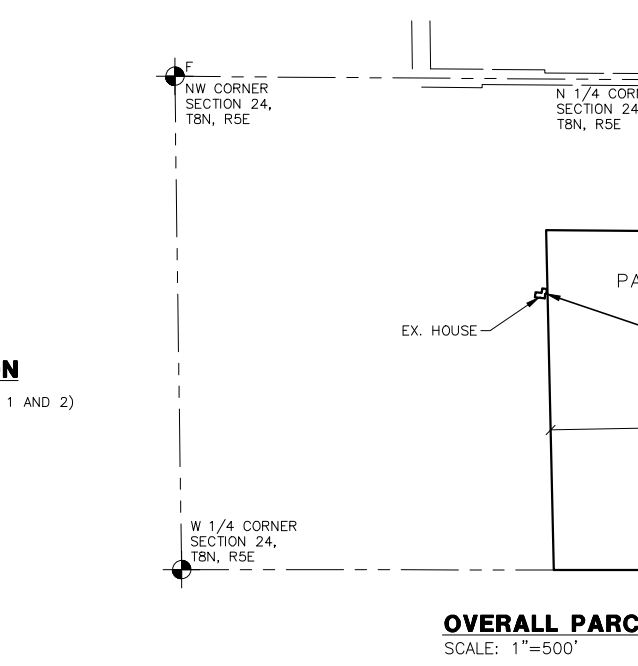
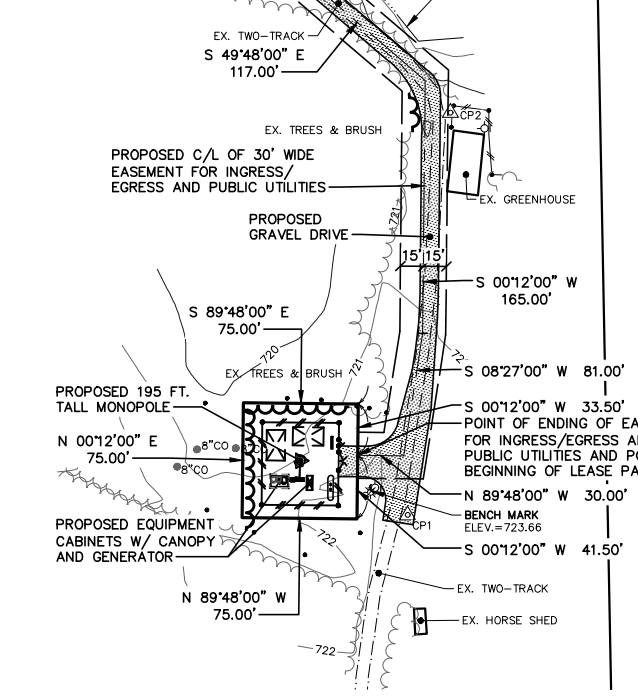
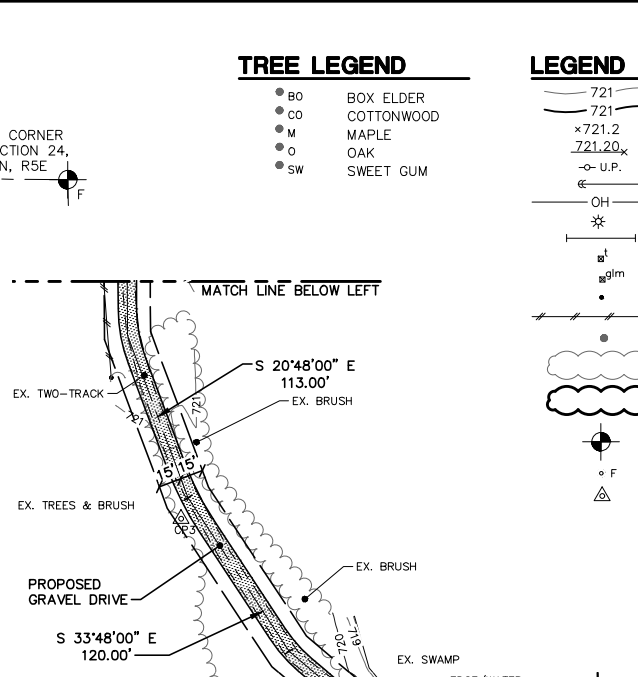
R:\15044\MIO421 (276 6789)\ACAD\15044\_MIO421-SPT.dwg, 1/7/2024 3:11 PM, Scott G. Fisher, SP-1, MCLLC PDF.pcs  
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**ZONING INFORMATION**  
CURRENT ZONING: RSA (RESIDENTIAL SUBURBAN AGRICULTURAL DISTRICT)  
SOUTH: RSA  
WEST: RSA  
NORTH: RSA  
EAST: RSA  
LAND USE: RESIDENTIAL AND FARMING  
SITE: RESIDENTIAL  
SOUTH: RESIDENTIAL  
WEST: RESIDENTIAL  
NORTH: RESIDENTIAL  
EAST: RESIDENTIAL AND FARMING  
MASTER PLAN CLASSIFICATION: LOW DENSITY RESIDENTIAL  
SITE: LOW DENSITY RESIDENTIAL  
SOUTH: LOW DENSITY RESIDENTIAL  
WEST: LOW DENSITY RESIDENTIAL  
NORTH: LOW DENSITY RESIDENTIAL  
EAST: LOW DENSITY RESIDENTIAL  
ZONED: RSA (RESIDENTIAL AGRICULTURE)

**NOTES**  
1. Rotate all bearings 00°45'01" clockwise to obtain bearings based on True North as determined from global positioning system (GPS).  
2. This site is not located in a flood area (zone x) per flood insurance rate map number 26049C0154D, effective date Sept. 25, 2009  
3. This site plan is based on the survey of the existing conditions conducted by Midwestern Consulting, LLC on 06-13-2023.

**BENCH MARK**  
Nail in the east side of a light pole on east side of the tower compound.  
Elevation: 723.66 (NAVD 88 Datum)



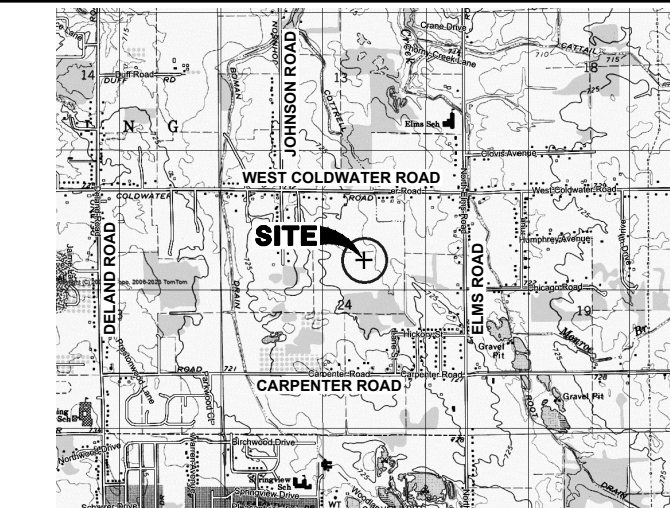
**VICINITY SKETCH**  
SCALE: 1"=2000'

**LOCATION**  
LONGITUDE 43° 05' 06.2"  
LATITUDE 83° 49' 17.7"  
GROUND ELEV. @ TOWER BASE = 721.50

**LEGAL DESCRIPTION OF OVERALL PARCEL**  
(Taken from Title Commitment)  
The following described premises situated in the Township of Flushing, Genesee County, and State of Michigan, to-wit:  
PARCEL 1:  
Part of the Northeast 1/4 of Section 24, Township 8 North, Range 5 East, described as follows:  
Beginning at a point on the North line of Section 24, which bears South 89°48'37" East, a distance of 455.88 feet from the North 1/4 corner of Section 24; thence continuing South 89°48'37" East along the North line of Section 24, a distance of 102.50 feet; thence South 01°29'07" East parallel with the East line of the West 1/2 of the Northeast 1/4 of Section 24, a distance of 450.02 feet; thence North 89°48'37" West, 102.50 feet; thence North 01°29'07" West, 450.02 feet to the point of beginning.

PARCEL 2:  
Part of the East 1/2 of the West 1/2 of Section 24, T8N, R5E, Township of Flushing, Genesee County, Michigan, described as: Beginning South 89°48'37" East along the North line of Section 24 a distance of 175.0 feet from the North 1/4 corner of Section 24; thence continuing South 89°48'37" East along said North line 75.88 feet, thence South 1°28'50" East 450.02 feet; thence South 89°48'37" East 410.0 feet; thence North 89°39'25" West along said East and West 1/4 line of Section 24; thence North 89°39'25" West along said East and West 1/4 line 658.29 feet to the center of Section 24; thence South 89°40'11" West along the East and West 1/4 line 675.5 feet to the West line of the East 1/2 of the East 1/2 of the Northwest 1/4 of Section 24; thence North 1°42'26" West 1850.11 feet; thence South 89°57'43" East 858.81 feet; thence North 1°43'37" West 823.0 feet to the point of beginning.

**LEGAL DESCRIPTION OF LEASE PARCEL**  
Commencing at the North 1/4 corner of Section 24, T8N, R5E, Flushing Township, Genesee County, Michigan; thence S 89°48'00" E 215.00 feet along the north line of said Section 24 (also being the centerline of West Coldwater Road, 66 feet wide); thence S 00°12'00" W 110.00 feet; thence S 08°12'20" W 119.16 feet; thence S 01°48'00" E 145.00 feet; thence S 13°47'51" E 84.00 feet; thence S 56°48'00" E 186.00 feet; thence S 33°12'00" W 25.00 feet; thence S 00°48'00" E 465.00 feet; thence S 20°48'00" E 113.00 feet; thence S 33°48'00" E 120.00 feet; thence S 49°48'00" E 117.00 feet; thence S 00°12'00" W 165.00 feet; thence S 08°27'00" W 81.00 feet; thence N 89°48'00" W 30.00 feet to the POINT OF BEGINNING;  
thence S 00°12'00" W 41.50 feet;  
thence N 89°48'00" W 75.00 feet;  
thence N 00°12'00" E 75.00 feet;  
thence S 89°48'00" E 75.00 feet;  
thence S 00°12'00" W 33.50 feet to the POINT OF BEGINNING; being a part of the Southeast 1/4 of Section 24, T8N, R5E, Flushing Township, Genesee County, Michigan; containing 5.625 square feet, or 0.129 acres, more or less; subject to easements and restrictions of record, if any;  
Together with a 30 foot wide easement for ingress, egress, and public utilities the centerline of said easement is described as follows:  
Commencing at the North 1/4 corner of Section 24, T8N, R5E, Flushing Township, Genesee County, Michigan; thence S 89°48'00" E 215.00 feet along the north line of said Section 24 (also being the centerline of West Coldwater Road, 66 feet wide) to the POINT OF BEGINNING;  
thence S 00°12'00" W 110.00 feet;  
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thence S 01°48'00" E 145.00 feet;  
thence S 13°47'51" E 84.00 feet;  
thence S 56°48'00" E 51.00 feet;  
thence S 33°12'00" W 25.00 feet;  
thence S 00°48'00" E 135.00 feet;  
thence S 00°48'00" E 465.00 feet;  
thence S 20°48'00" E 113.00 feet;  
thence S 33°48'00" E 120.00 feet;  
thence S 49°48'00" E 117.00 feet;  
thence S 00°12'00" W 165.00 feet;  
thence S 08°27'00" W 81.00 feet;  
thence N 89°48'00" W 30.00 feet to the POINT OF ENDING; being a part of the Southeast 1/4 of Section 24, T8N, R5E Flushing Township, Genesee County, Michigan; except any part taken, deeded or used for public road purposes; and subject to easements and restrictions of record, if any;  
And together with a 12 foot wide easement for public utilities, the centerline of said easement is described as follows:  
Commencing at the North 1/4 corner of Section 24, T8N, R5E, Flushing Township, Genesee County, Michigan; thence S 89°48'00" E 240.00 feet along the north line of said Section 24 (also being the centerline of West Coldwater Road, 66 feet wide) to the POINT OF BEGINNING;  
thence S 00°12'00" W 60.00 feet;  
thence S 00°48'00" E 398.00 feet to the POINT OF ENDING; being a part of the Southeast 1/4 of Section 24, T8N, R5E Flushing Township, Genesee County, Michigan; except any part taken, deeded or used for public road purposes; and subject to easements and restrictions of record, if any.



**LEGAL DESCRIPTION OF OVERALL PARCEL**  
(Taken from Title Commitment)  
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PARCEL 2:  
Part of the East 1/2 of the West 1/2 of Section 24, T8N, R5E, Township of Flushing, Genesee County, Michigan, described as: Beginning South 89°48'37" East along the North line of Section 24 a distance of 175.0 feet from the North 1/4 corner of Section 24; thence continuing South 89°48'37" East along said North line 75.88 feet, thence South 1°28'50" East 450.02 feet; thence South 89°48'37" East 410.0 feet; thence North 89°39'25" West along said East and West 1/4 line of Section 24; thence North 89°39'25" West along said East and West 1/4 line 658.29 feet to the center of Section 24; thence South 89°40'11" West along the East and West 1/4 line 675.5 feet to the West line of the East 1/2 of the East 1/2 of the Northwest 1/4 of Section 24; thence North 1°42'26" West 1850.11 feet; thence South 89°57'43" East 858.81 feet; thence North 1°43'37" West 823.0 feet to the point of beginning.

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thence S 00°48'00" E 135.00 feet;  
thence S 00°48'00" E 465.00 feet;  
thence S 20°48'00" E 113.00 feet;  
thence S 33°48'00" E 120.00 feet;  
thence S 49°48'00" E 117.00 feet;  
thence S 00°12'00" W 165.00 feet;  
thence S 08°27'00" W 81.00 feet;  
thence N 89°48'00" W 30.00 feet to the POINT OF ENDING; being a part of the Southeast 1/4 of Section 24, T8N, R5E Flushing Township, Genesee County, Michigan; except any part taken, deeded or used for public road purposes; and subject to easements and restrictions of record, if any;  
And together with a 12 foot wide easement for public utilities, the centerline of said easement is described as follows:  
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thence S 00°12'00" W 60.00 feet;  
thence S 00°48'00" E 398.00 feet to the POINT OF ENDING; being a part of the Southeast 1/4 of Section 24, T8N, R5E Flushing Township, Genesee County, Michigan; except any part taken, deeded or used for public road purposes; and subject to easements and restrictions of record, if any.

**OVERALL PARCEL SKETCH**  
SCALE: 1"=500'

**STATE OF MICHIGAN**  
SCOTT GREGORY FISHER  
ENGINEER  
No. 6201058473  
LICENSED PROFESSIONAL ENGINEER

REPREPARED BY:  
MIDWESTERN CONSULTING, L.L.C.  
SCOTT G. FISHER P.E. #58473

**APPLICANTS:**  
TOWERCO  
5000 VALLEYSTONE DRIVE  
CARY, NC 27519 PH  
919-469-5630 FAX

**CELL CO. PARTNERSHIP**  
24242 NORTHWESTERN HWY.  
SOUTHFIELD, MI 48075  
(248) 915-3000

**TOWERCO**

**verizon**

**FLUSHING TOWNSHIP, MICHIGAN**  
GENESEE COUNTY, MICHIGAN

**TC SITE #MIO421**  
**VZW SITE #670**  
**'FLUSHING NW'**

REV. DATE	REV. PER	DESCRIPTION
01/03/24	1	REV. PER TOWNSHIP REVIEW
07/19/23	2	REV. PER PROPERTY OWNER

**MIDWESTERN CONSULTING**  
385 Plaza Drive  
Ann Arbor, Michigan 48108  
(734) 995-0200  
www.midwesternconsulting.com  
Land Development • Land Survey  
Institutional • Municipal  
Wireless Communications  
Transportation • Landfill Services

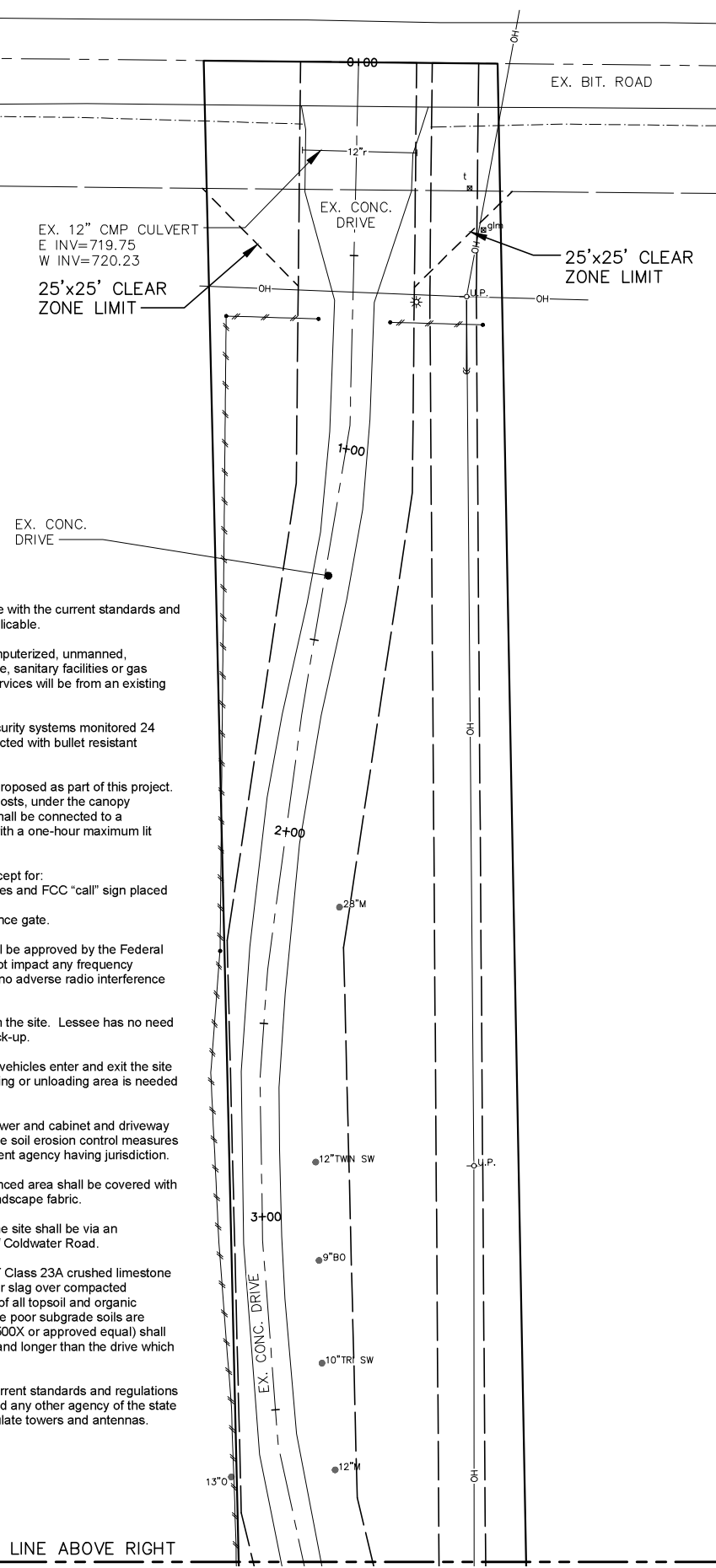
**JOB No. 15044-MIO421**  
DATE: 11/13/23  
CADD: BLF  
ENG: SGF  
PW: SGF  
TECH: KMW  
FILE: 15044\_MIO421-SPT  
FB#: 552H8

**SITE SURVEY, GENERAL INFORMATION**

**1**

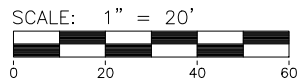
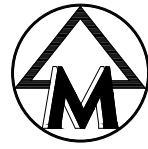
SHEET 1 OF 3

# W. COLDWATER ROAD (66' WIDE)



## GENERAL NOTES:

- All site work construction shall be in accordance with the current standards and specifications of Flushing Township, where applicable.
- The proposed equipment cabinet is to be a computerized, unmanned, telephone exchange structure. No water service, sanitary facilities or gas service is needed. Telephone and electrical services will be from an existing utility pole or line adjacent to the site.
- The proposed equipment cabinet is to have security systems monitored 24 hours per day. The cabinet will also be constructed with bullet resistant materials.
- There are two, low wattage (21W), LED lights proposed as part of this project. The lights are mounted to the canopy support posts, under the canopy opposite from the equipment cabinets. Lights shall be connected to a technician operated on/off switch with a timer with a one-hour maximum lit duration.
- There are no signs proposed for this project except for:
  - Emergency contact information purposes and FCC "call" sign placed on equipment cabinet door;
  - FCC registration number located on fence gate.
- The cellular antenna and equipment cabinet will be approved by the Federal Communications Commission (FCC) and will not impact any frequency sensitive devices whatsoever. Buyer warrants no adverse radio interference with adjacent land uses.
- There are no toxic materials used by Lessee on the site. Lessee has no need for outdoor storage or garbage disposal and pick-up.
- Maintenance personnel using van type service vehicles enter and exit the site approximately 2 to 4 times per month. No loading or unloading area is needed by them.
- All areas disturbed by the construction of the tower and cabinet and driveway shall be restored in kind. Contractor is to provide soil erosion control measures as needed or as directed by owner or government agency having jurisdiction.
- All areas inside of and to 1'-0" outside of the fenced area shall be covered with 3" of crushed limestone placed over "Typar" landscape fabric.
- Ingress and egress by Lessee's personnel to the site shall be via an existing/proposed gravel/concrete drive from W Coldwater Road.
- The proposed drive shall consist of 3" of MDOT Class 23A crushed limestone aggregate over 10" of 1"x3" crushed concrete or slag over compacted subgrade. The subgrade shall be stripped free of all topsoil and organic material prior to placing aggregate base. Where poor subgrade soils are encountered, a woven geotextile fabric (Mirafi 500X or approved equal) shall be placed so that it is a minimum of 2 ft. wider and longer than the drive which is to be constructed over the poor soils.
- The proposed tower site will meet or exceed current standards and regulations of the Federal Aviation Administration (FAA) and any other agency of the state or federal government with the authority to regulate towers and antennas.

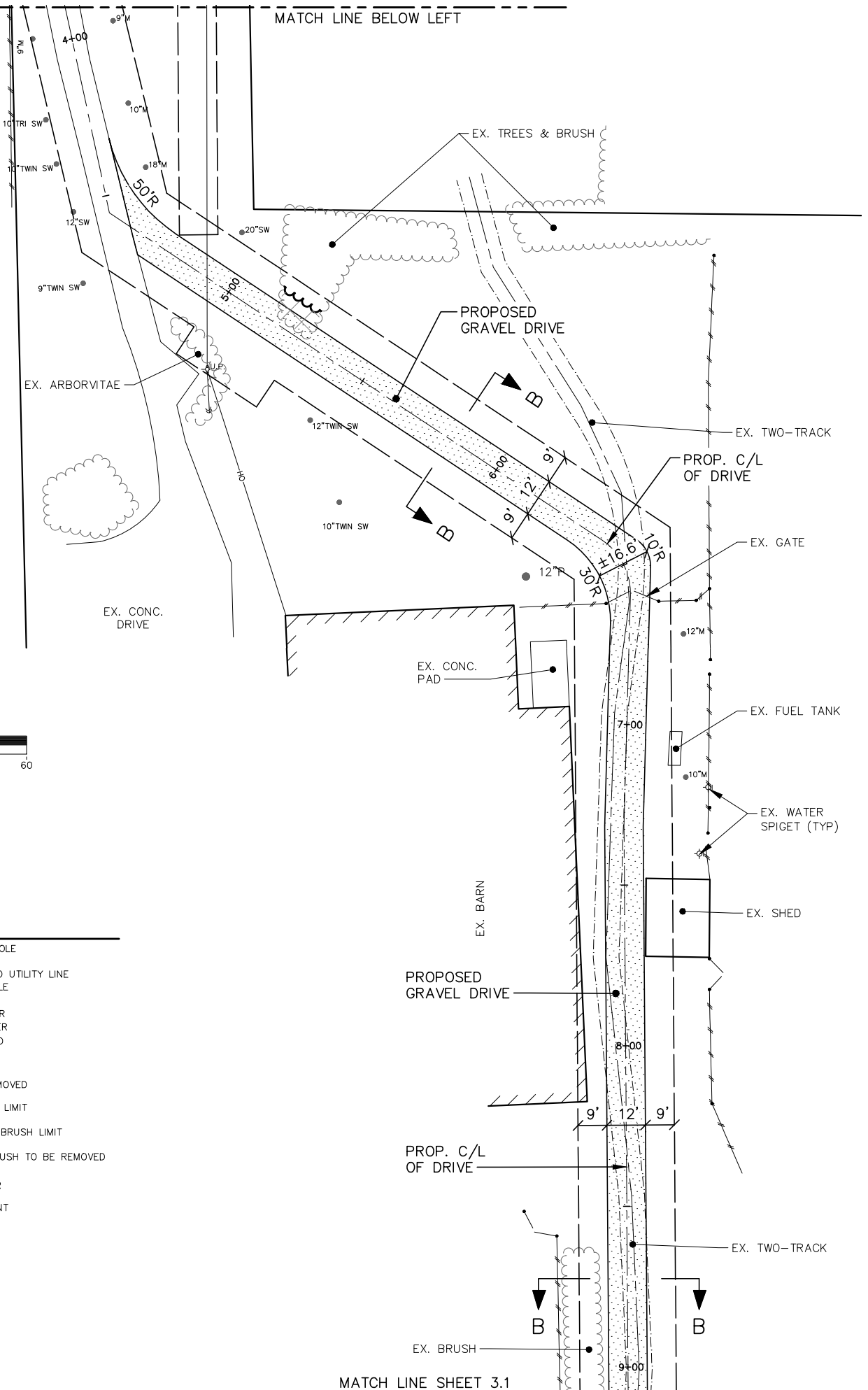


## LEGEND

- |  |                                 |
|--|---------------------------------|
|  | EXIST. UTILITY POLE             |
|  | GUY WIRE                        |
|  | EXIST. OVERHEAD UTILITY LINE    |
|  | EXIST. LIGHT POLE               |
|  | CULVERT                         |
|  | TELEPHONE RISER                 |
|  | GAS LINE MARKER                 |
|  | POST / BOLLARD                  |
|  | FENCE                           |
|  | SINGLE TREE                     |
|  | TREE TO BE REMOVED              |
|  | TREE OR BRUSH LIMIT             |
|  | PROP. TREE OR BRUSH LIMIT       |
|  | EX. TREE OR BRUSH TO BE REMOVED |
|  | SECTION CORNER                  |
|  | FOUND MONUMENT                  |
|  | CONTROL PT.                     |

## TREE LEGEND

- |    |            |
|----|------------|
| BO | BOX ELDER  |
| CO | COTTONWOOD |
| M  | MAPLE      |
| O  | OAK        |
| SW | SWEET GUM  |



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**APPLICANTS:**  
**TOWERCO**  
 5000 VALLESTONE DRIVE  
 CARY, NC 27519 PH  
 919-469-5630 FAX

**CELLCO PARTNERSHIP**  
 24242 NORTHWESTERN HWY.  
 SOUTHFIELD, MI 48075  
 (248) 915-3000

**TC SITE #MIO421**  
**VZW SITE #670**  
**'FLUSHING NW'**

FLUSHING TOWNSHIP  
 GENESEE COUNTY, MICHIGAN

REV. DATE	REV. PER	TOWNSHIP REVIEW
01/23/24		

**MIDWESTERN CONSULTING**

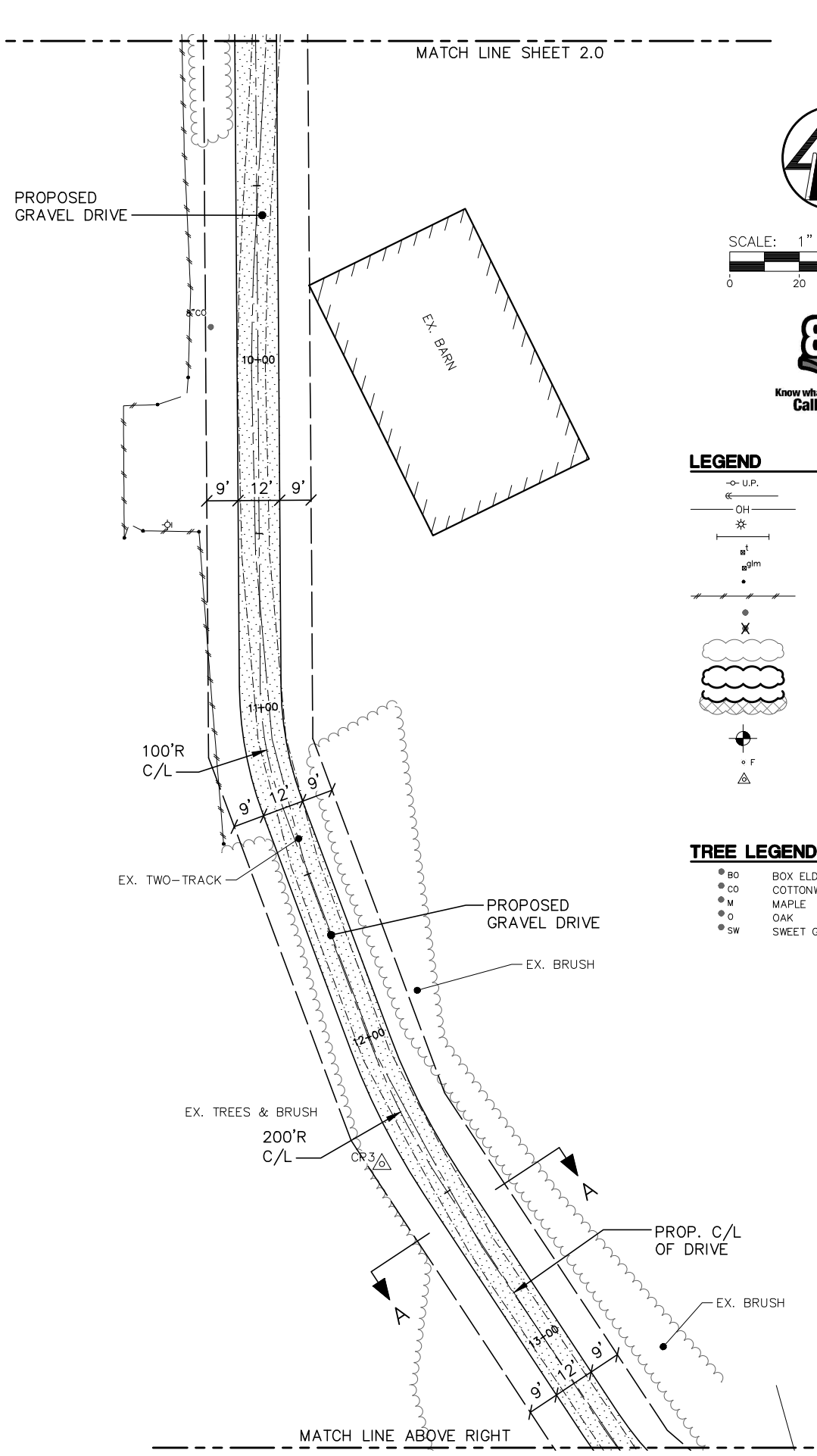
3855 Plaza Drive  
 Ann Arbor, Michigan 48108  
 (734) 995-0200  
 www.midwesternconsulting.com

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JOB No. <b>15044-MIO421</b>	DATE: 11/13/23
CADD: BLF	ENG: SGF
PM: SGF	TECH: KMW
FILE: 15044_MIO421-SPT	FB#: 552H8

**SITE PLAN**  
**DETAIL -**  
**NORTH**

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SCALE: 1" = 20'

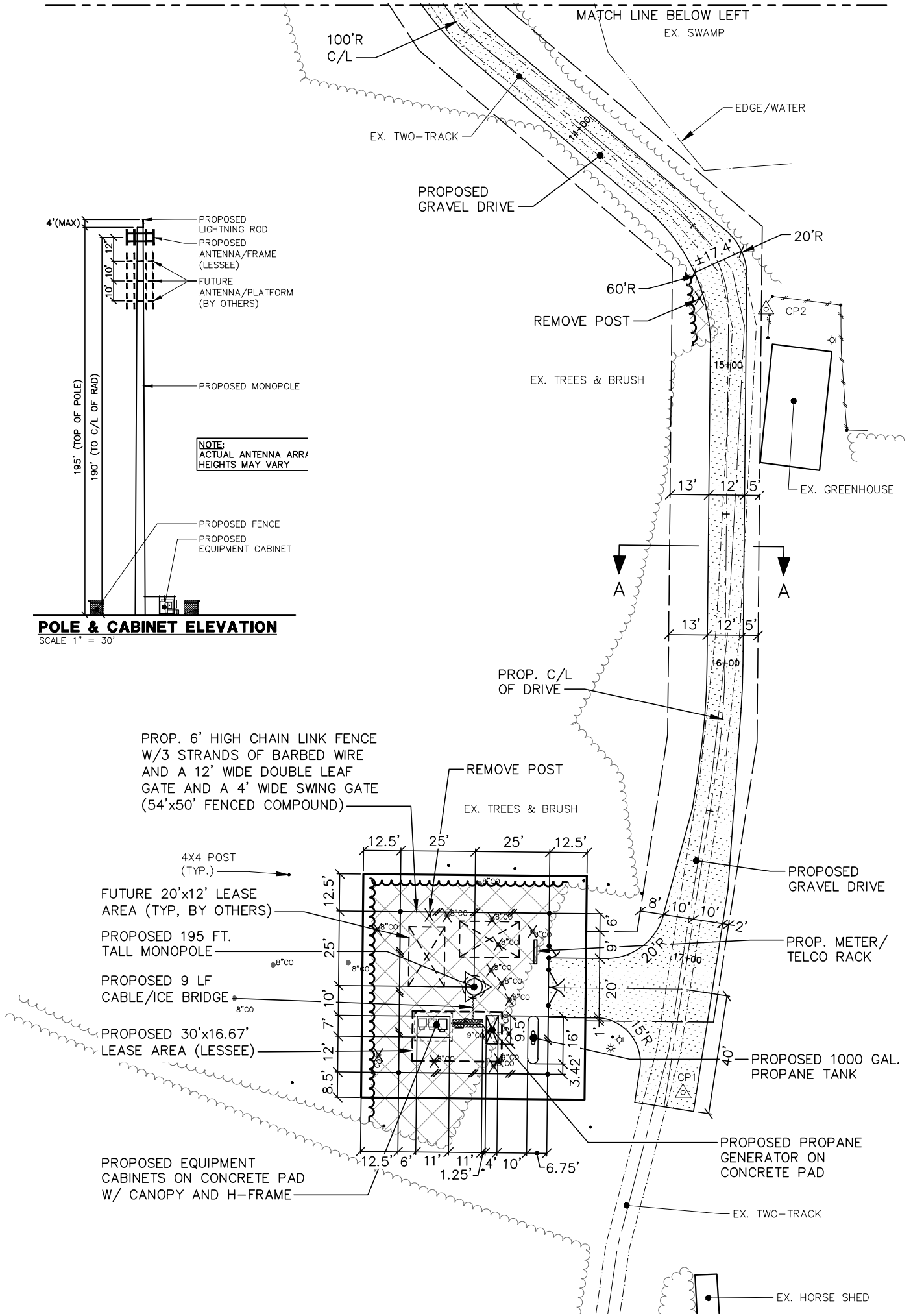
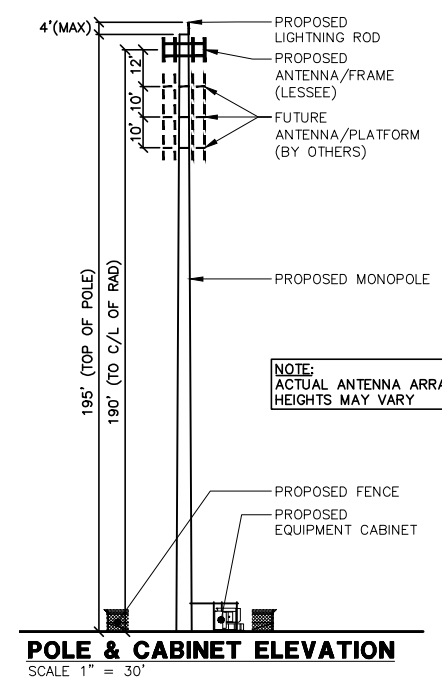


**LEGEND**

- EXIST. UTILITY POLE
- GUY WIRE
- EXIST. OVERHEAD UTILITY LINE
- EXIST. LIGHT POLE
- CULVERT
- TELEPHONE RISER
- GAS LINE MARKER
- POST / BOLLARD
- FENCE
- SINGLE TREE
- TREE TO BE REMOVED
- TREE OR BRUSH LIMIT
- PROP. TREE OR BRUSH LIMIT
- EX. TREE OR BRUSH TO BE REMOVED
- SECTION CORNER
- FOUND MONUMENT
- CONTROL PT.

**TREE LEGEND**

- BO BOX ELDER
- CO COTTONWOOD
- M MAPLE
- O OAK
- SW SWEET GUM



**APPLICANTS:**

**TowerCo**  
5000 VALLEYSTONE DRIVE  
CARY, NC 27519  
919-469-5630 FAX

**verizon**  
CELLCO PARTNERSHIP  
24242 NORTHWESTERN HWY.  
SOUTHFIELD, MI 48075  
(248) 915-3000

**TC SITE #MIO421**  
**VZW SITE # 670**  
**'FLUSHING NW'**

FLUSHING TOWNSHIP  
GENESEE COUNTY, MICHIGAN

REV. DATE	REV. DATE
01/23/24	

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**JOB No. 15044-MIO421**

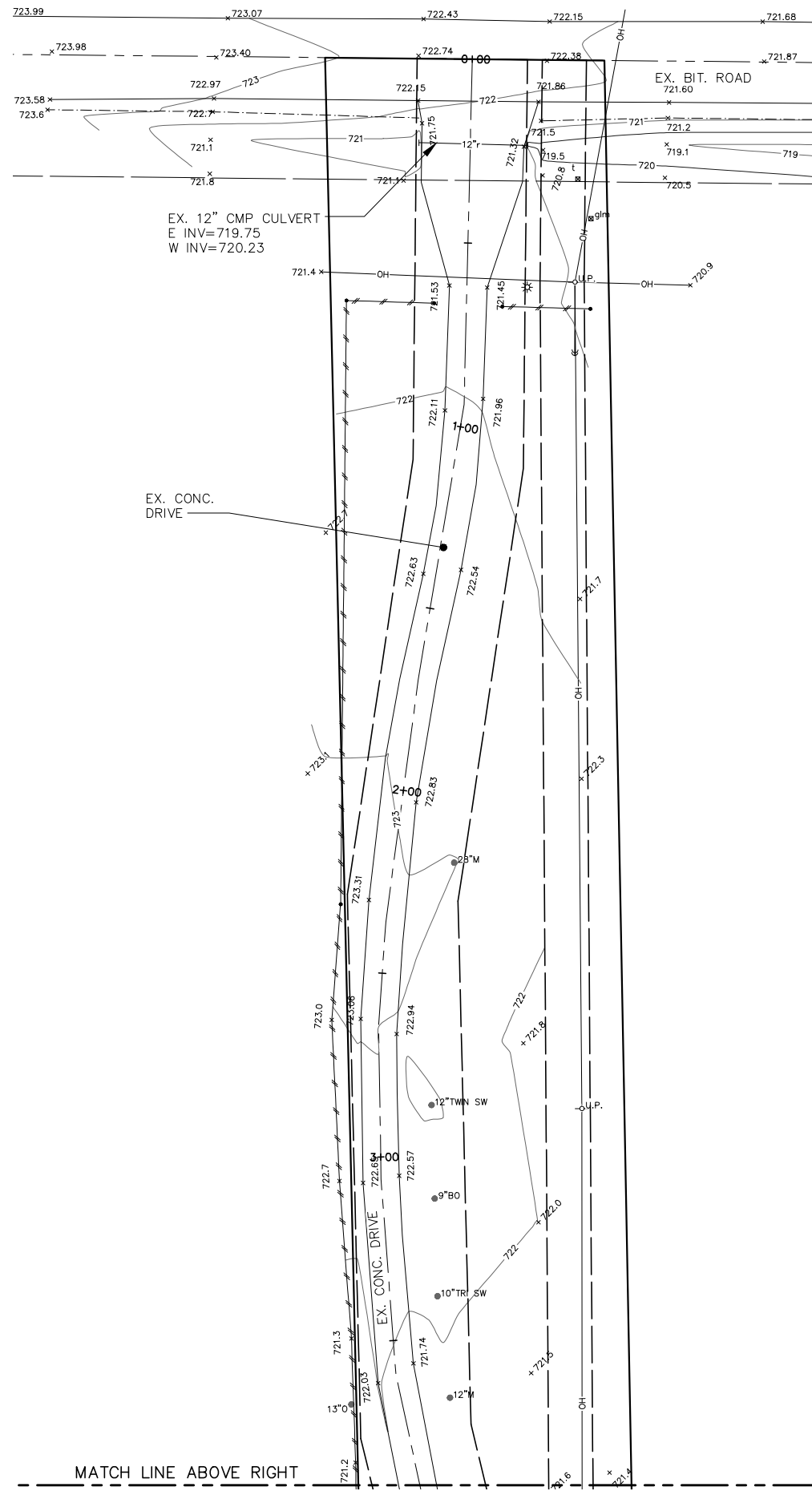
DATE: 11/13/23  
CADD: BIF  
ENG: SGF  
PM: SGF  
TECH: KMW  
FILE: 15044\_MIO421-SP1  
FB#: 552H8

**SITE PLAN  
DETAIL -  
SOUTH**

**2.1**

SHEET 4 OF 7

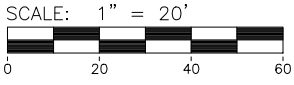
# W. COLDWATER ROAD (66' WIDE)



EX. 12" CMP CULVERT  
 E INV=719.75  
 W INV=720.23

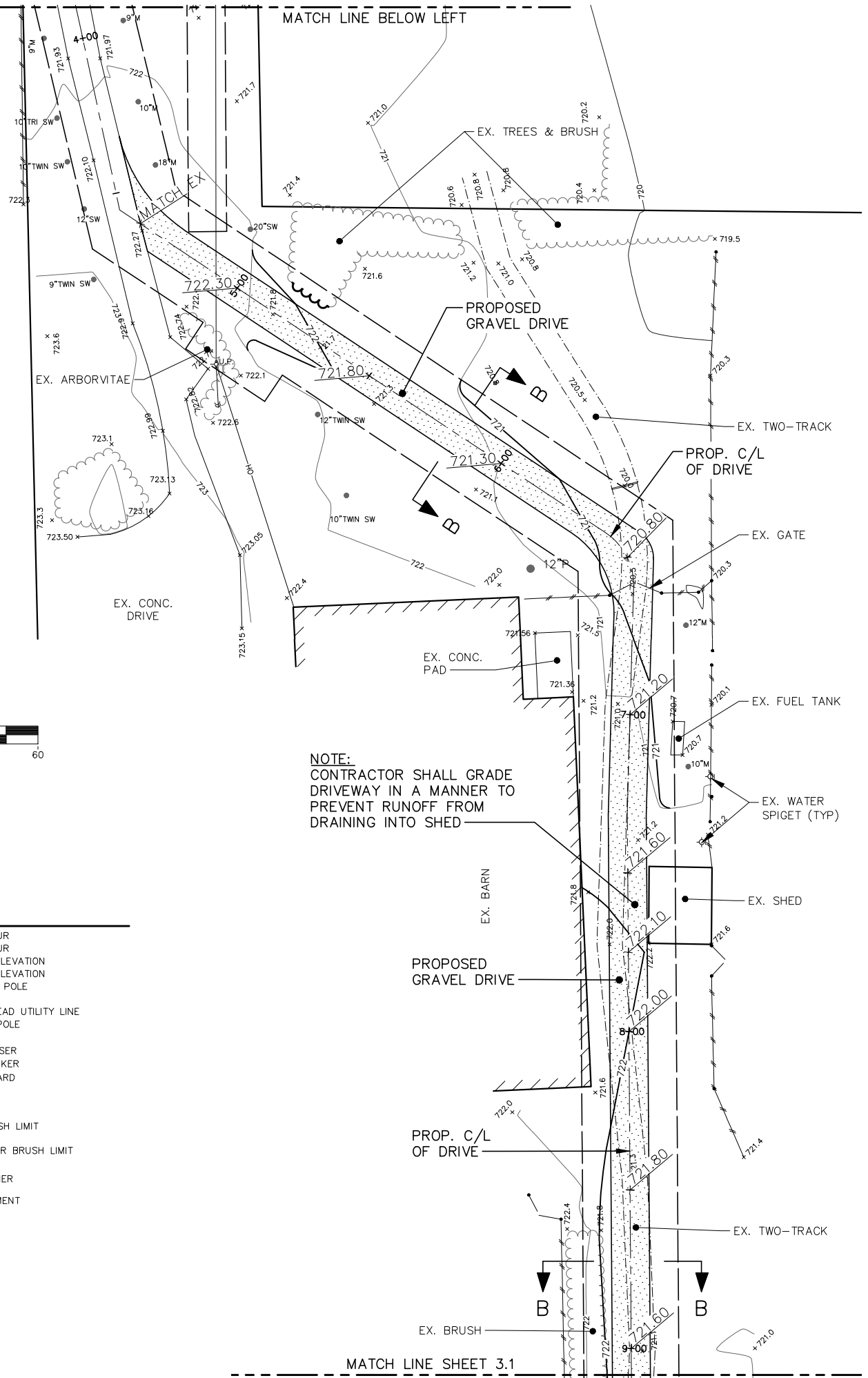
EX. CONC. DRIVE

EX. BIT. ROAD  
 721.60



- LEGEND**
- 721 — EXIST. CONTOUR
  - - - 721 - - - PROP. CONTOUR
  - x 721.2 EXIST. SPOT ELEVATION
  - 721.20 PROP. SPOT ELEVATION
  - o-U.P. EXIST. UTILITY POLE
  - GUY WIRE
  - OH EXIST. OVERHEAD UTILITY LINE
  - \* EXIST. LIGHT POLE
  - CULVERT
  - TELEPHONE RISER
  - GAS LINE MARKER
  - POST / BOLLARD
  - FENCE
  - SINGLE TREE
  - TREE OR BRUSH LIMIT
  - PROP. TREE OR BRUSH LIMIT
  - SECTION CORNER
  - o F FOUND MONUMENT
  - △ CONTROL PT.

- TREE LEGEND**
- BO BOX ELDER
  - CO COTTONWOOD
  - M MAPLE
  - O OAK
  - SW SWEET GUM




NOTE:  
 CONTRACTOR SHALL GRADE  
 DRIVEWAY IN A MANNER TO  
 PREVENT RUNOFF FROM  
 DRAINING INTO SHED

MATCH LINE SHEET 3.1

**APPLICANTS:**  
 TOWERCO  
 5000 VALLESTONE DRIVE  
 CARY, NC 27519  
 919-469-5630 FAX

CELLCO PARTNERSHIP  
 24242 NORTHWESTERN HWY.  
 SOUTHFIELD, MI 48075  
 (248) 915-3000

**TC SITE #MIO421**  
**VZV SITE #670**  
**'FLUSHING NW'**

FLUSHING TOWNSHIP  
 GENESEE COUNTY, MICHIGAN

REVISIONS:	REV. DATE:
1. REV. PER TOWNSHIP REVIEW	07/26/24

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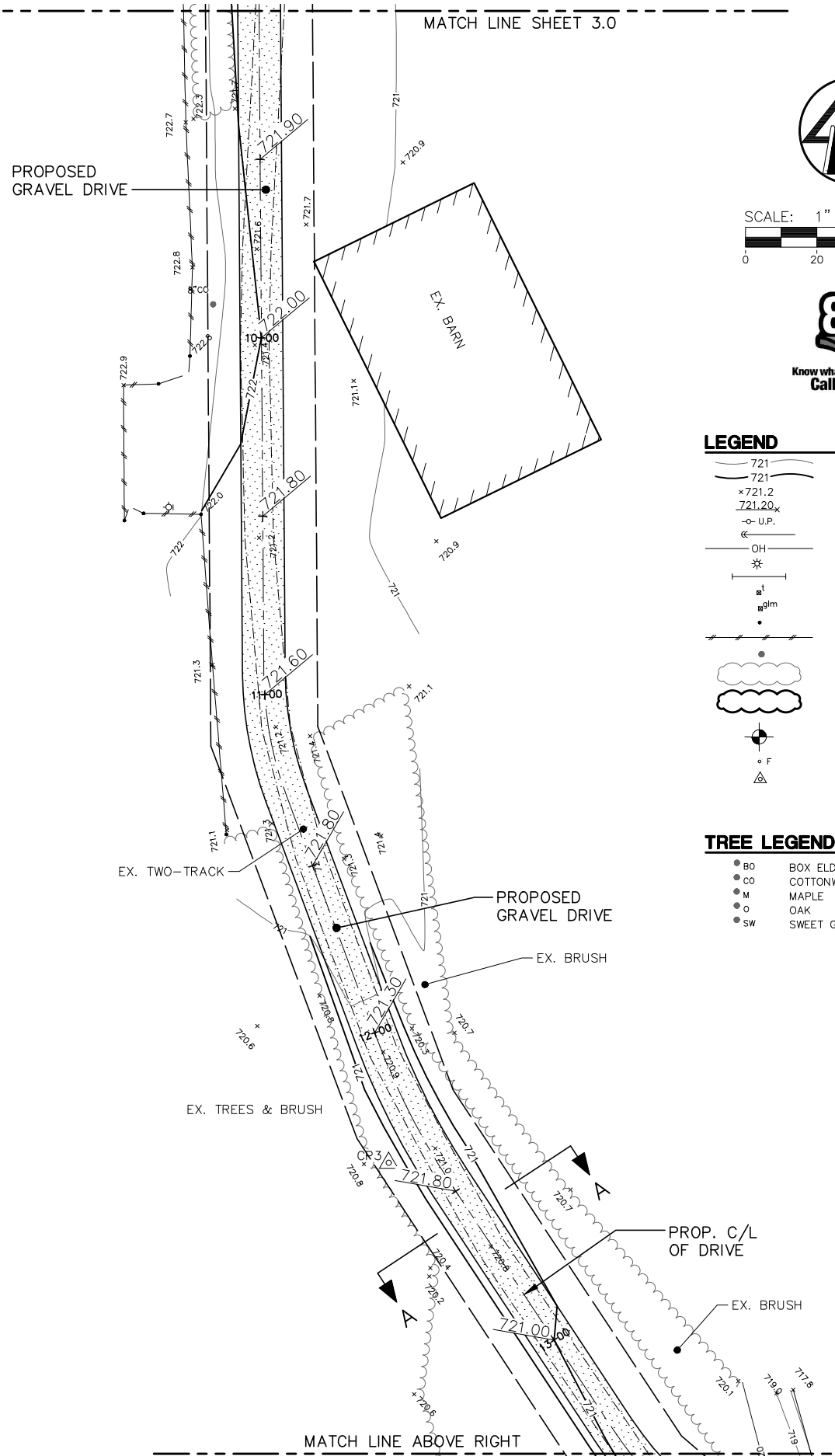


<b>JOB No. 15044-MIO421</b>	DATE: 11/11/23
CADD: BLF	ENG: SGF
PW: SGF	TECH: KMW
FILE: 15044_MIO421-SPT	FB#: 552H8

**GRADING PLAN - NORTH**



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SCALE: 1" = 20'  
 0 20 40 60

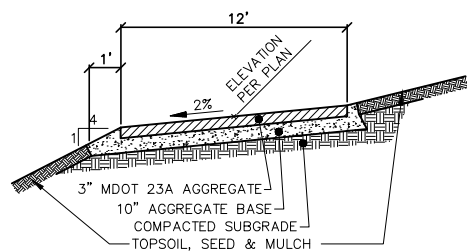


**LEGEND**

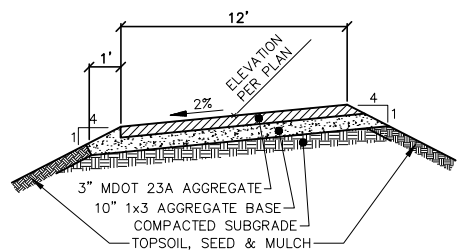
- 721 ——— EXIST. CONTOUR
- 721 ——— PROP. CONTOUR
- x721.2 EXIST. SPOT ELEVATION
- 721.20x PROP. SPOT ELEVATION
- o- U.P. EXIST. UTILITY POLE
- GUY WIRE
- OH ——— EXIST. OVERHEAD UTILITY LINE
- \* ——— EXIST. LIGHT POLE
- CULVERT
- TELEPHONE RISER
- GAS LINE MARKER
- POST / BOLLARD
- FENCE
- SINGLE TREE
- TREE OR BRUSH LIMIT
- PROP. TREE OR BRUSH LIMIT
- SECTION CORNER
- F FOUND MONUMENT
- △ CONTROL PT.

**TREE LEGEND**

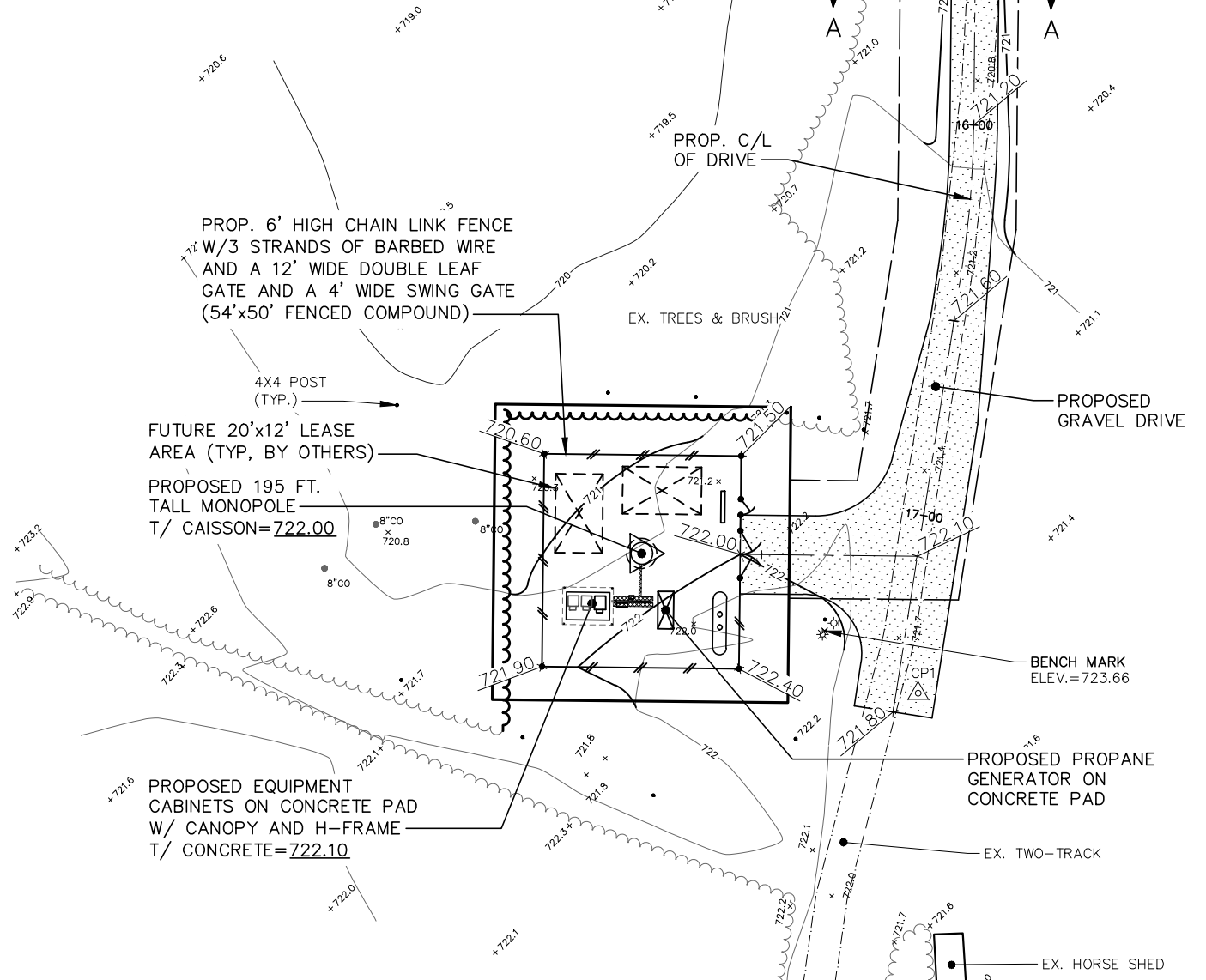
- BO BOX ELDER
- CO COTTONWOOD
- M MAPLE
- O OAK
- SW SWEET GUM



**GRAVEL DRIVE CROSS SECTION A-A**  
 NOT TO SCALE



**GRAVEL DRIVE CROSS SECTION B-B**  
 NOT TO SCALE



**APPLICANTS:**  
 TowerCo  
 5000 VALLEYSTONE DRIVE  
 CARY, NC 27519  
 919-469-5630 FAX

**verizon**  
 GELCO PARTNERSHIP  
 24242 NORTHWESTERN HWY.  
 SOUTHFIELD, MI 48075  
 (248) 915-3000

**TC SITE #MIO421**  
**VZW SITE #670**  
**'FLUSHING NW'**

FLUSHING TOWNSHIP  
 GENESEE COUNTY, MICHIGAN

REV. DATE	REV. PER	TOWNSHIP REVIEW
01/17/23/24	1	

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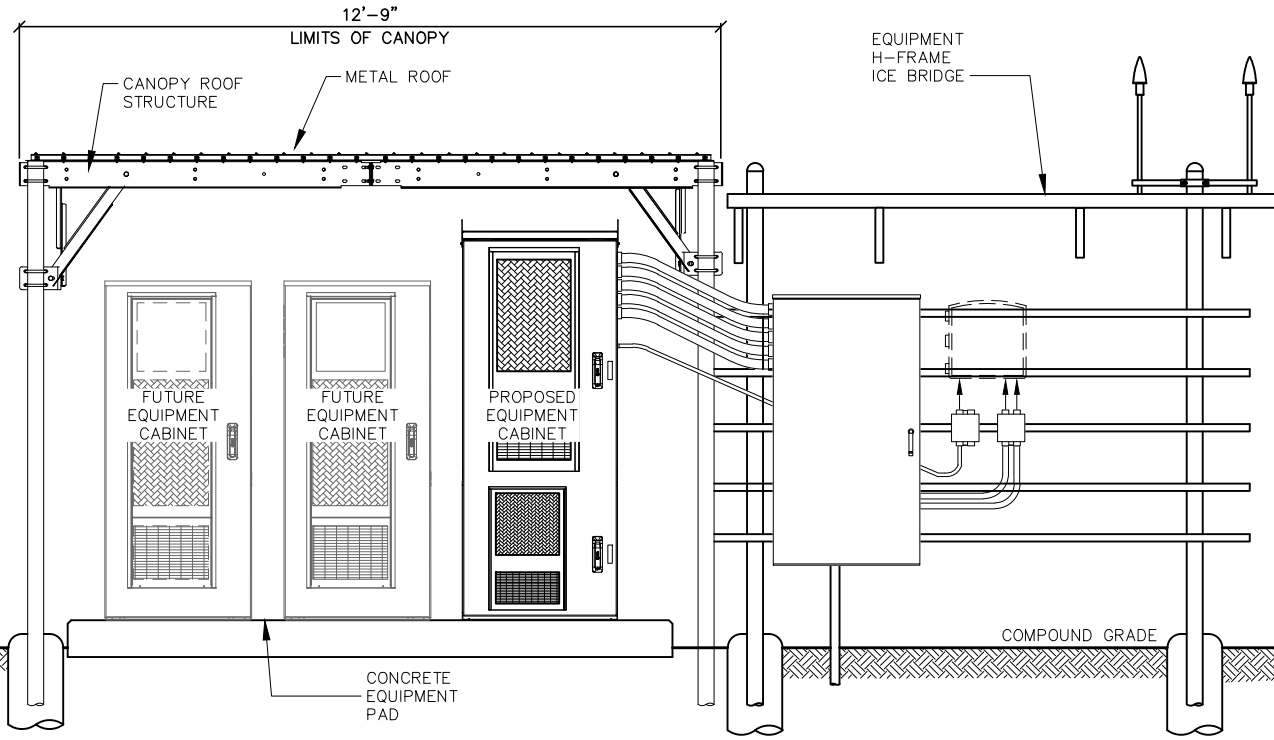
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<b>JOB No. 15044-MIO421</b>	DATE: 11/11/23
CADD: BLF	ENG: SGF
PW: SGF	TECH: KMW
FILE: 15044_MIO421-SPT	FB#: 552H8

**GRADING PLAN - SOUTH**

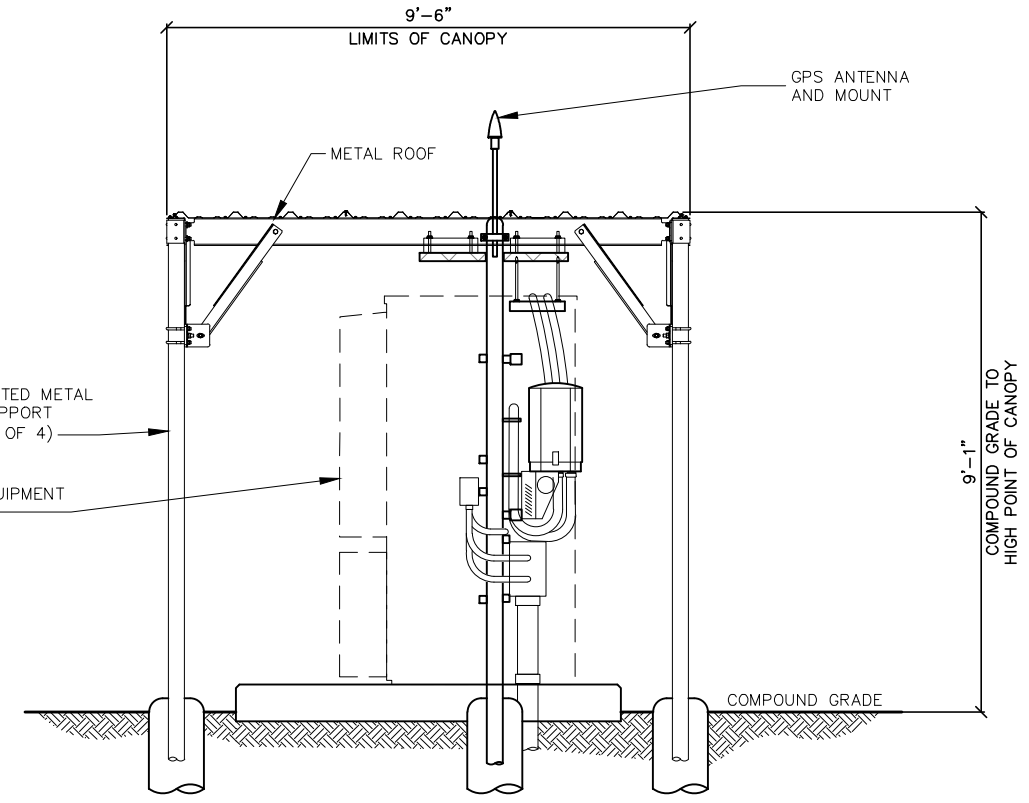


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**EQUIPMENT ELEVATION VIEW (FRONT)**

NOT TO SCALE



**EQUIPMENT ELEVATION VIEW (RIGHT SIDE)**

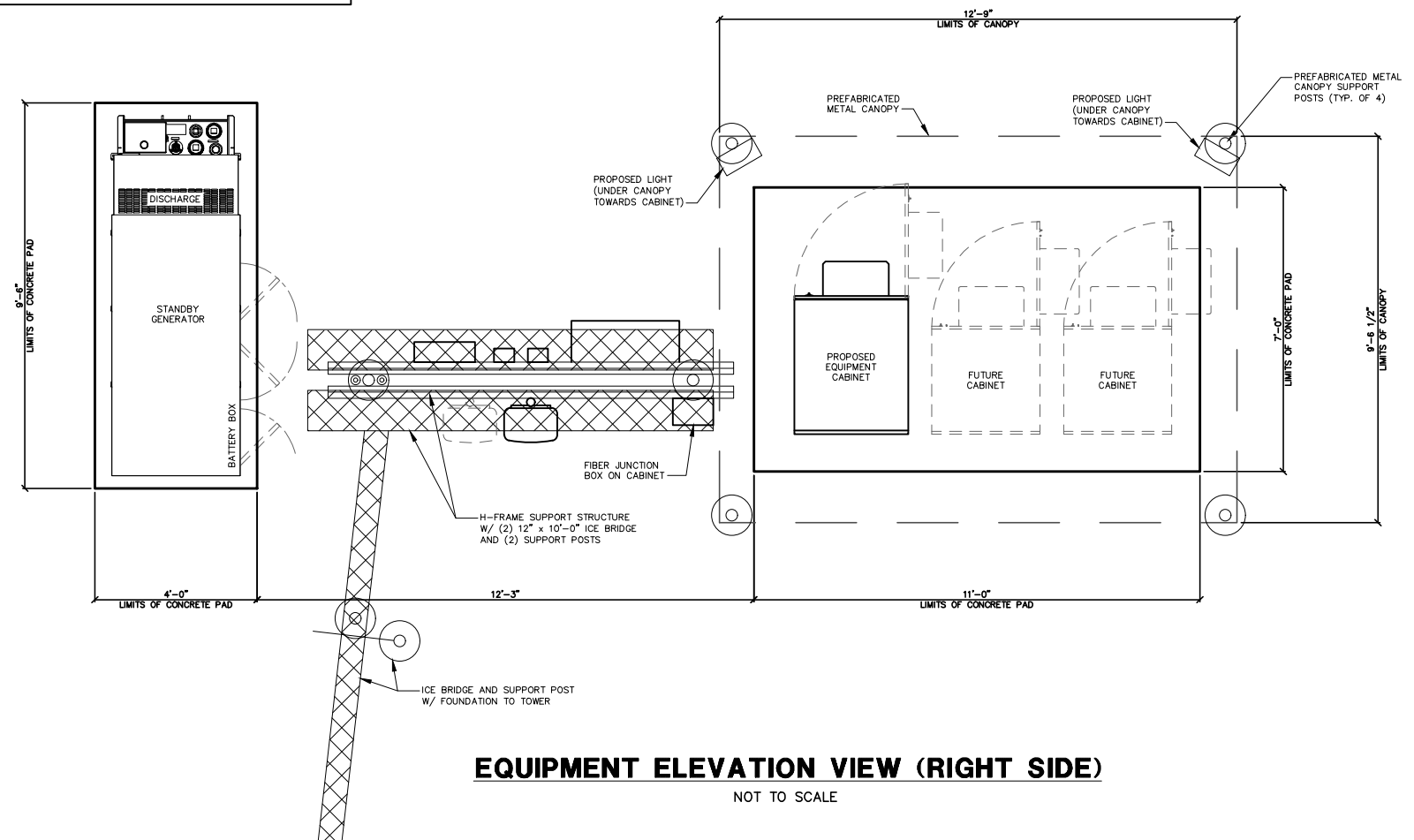
NOT TO SCALE

**NOTE:**  
ACTUAL EQUIPMENT  
SIZE AND TYPE WILL  
VARY PER CARRIER



**EXAMPLE CABINET INSTALLATION**

w/ STANDARD EQUIPMENT COLORS



**EQUIPMENT ELEVATION VIEW (RIGHT SIDE)**

NOT TO SCALE

**CONCRETE PAD W/ EQUIPMENT AND CANOPY ELEVATIONS AND FLOOR PLAN - (FUTURE, BY OTHERS)**

**APPLICANTS:**  
**TowerCo**  
 TOWERCO  
 5000 VALLEYSTONE DRIVE  
 CARY, NC 27519  
 919-469-5530 FAX  
**verizon**  
 CELL CO. PARTNERSHIP  
 CLEVELAND, OH  
 24242 NORTHWESTERN HWY.  
 SOUTHFIELD, MI 48075  
 (248) 915-3000

**TC SITE #MIO421**  
**VZW SITE # 670**  
**'FLUSHING NW'**  
 FLUSHING TOWNSHIP  
 GENESEE COUNTY, MICHIGAN

REV. DATE	DESCRIPTION
01/03/24 <td>1. ADD SHEET</td>	1. ADD SHEET

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 Ann Arbor, Michigan 48108  
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**JOB No. 15044-MIO421**  
 DATE: 01/03/24  
 CADD: BLF  
 ENG: SGF  
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 TECH: KMW  
 FILE: 15044\_MIO421-SPT  
 FB#: 552H8

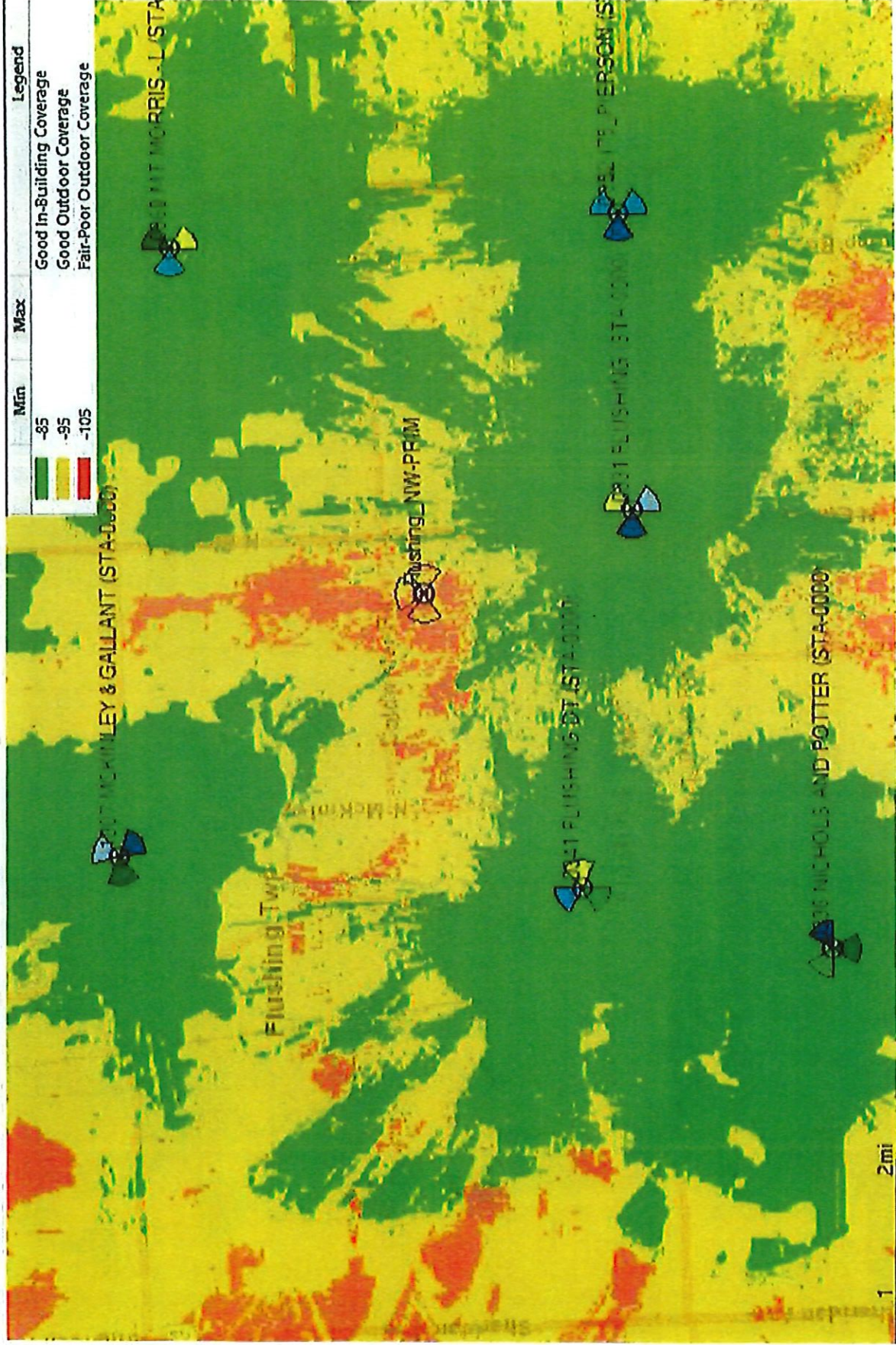
**TYPICAL EQUIPMENT VIEWS**

# EXHIBIT C



# EXHIBIT D

# Current Coverage



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# **EXHIBIT E**

October 24, 2023

Pam Henderson  
TowerCo, LLC

RE: Proposed 195' Sabre Monopole for Flushing NW, MI (Site No. MI0421)

Dear Ms. Henderson,

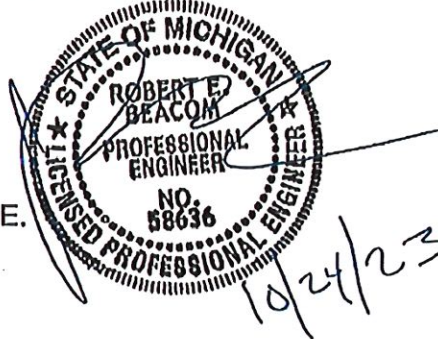
Upon receipt of order, we propose to design and supply the above referenced Sabre monopole for an Ultimate Wind Speed of 115 mph and no ice and 74 mph + 1/2" ice, Structure Class II, Exposure Category C, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA 222-G "Structural Standard for Antenna Supporting Structures and Antennas".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion of the monopole above leaning over and remaining in a permanently deformed condition. This would effectively result in a fall radius less than or equal to 195'. *Please note that this letter only applies to the above referenced monopole designed and manufactured by Sabre Industries.*

Sincerely,

Robert E. Beacom, P.E., S.E.  
Engineering Manager





December 22, 2023

Ms. Wendy Meinberg, Flushing Township Clerk  
7029 Mt Morris Road  
Flushing, MI 48433

RE: Engineering Plan Review – 7235 Coldwater Road – Verizon Wireless Tower

Dear Ms. Meinberg:

Per your request, ROWE Professional Services Company has performed an engineering review of the above-referenced proposed site project plans. The proposed development includes a 195-foot-tall monopole communications tower, an operations equipment area with surrounding chain-link fence and a 12-foot-wide gravel access drive. The proposed development is to be located within a second parcel at 7235 Mt. Morris Road, approximately 1,550 feet south of the Mt. Morris Road centerline. The township received the site plan set on December 6, 2023. The subject property is zoned RSA (residential agriculture).

Based on our review, we offer the following comments:

#### Engineering Comments

1. Should the monopole require any subsurface footing(s), then a geotechnical analysis should be provided demonstrating soundness of the surrounding soils or detailing proper mitigation of unsuitable base material.
2. Sheet 2: A larger, fire code compliant “hammerhead”—or even a full turnaround—at the end of the gravel drive is suggested at a minimum for fire trucks, if ever needed. Though “General Notes, Item 8” states that maintenance vehicles will typically consist of van type vehicles, a turnaround may also benefit larger delivery trucks/semis if any larger items are needed, perhaps by future collocators.
3. Sheet 3: The proposed gravel drive will abut an existing shed indicated near STA 7+60, with the drive falling towards the shed. No finished floor elevation is provided for the shed. Spot grades nearby would suggest that the finished floor should be high enough for no issues to arise. However, verifying the finished floor elevation of the shed is advised, as the proposed gravel drive will drain towards the shed.
4. If applicable, any proposed easements shall be shown on the plans and developer shall verify that easements are granted to the public agency maintaining these utilities.
5. The developer shall obtain any permits through Michigan Department of Environment, Great Lakes, and Energy (EGLE), Genesee County Road Commission (GCRC), and Genesee County Drain Commissioner – Division of Water and Waste Services (GCDC-WWS) as necessary to complete the proposed work shown.

**SINCE 1962**

Ms. Wendy Meinberg, Flushing Township Clerk

December 22, 2023

Page 2

Regulatory and other governmental agencies with jurisdiction may have additional comments or requirements. The developer and designer remain responsible for the design, construction, and any resulting impacts of the project. If you have any questions or require additional information, please contact me at [dsanders@rowepsc.com](mailto:dsanders@rowepsc.com) or (810) 341-7500.

Sincerely,  
ROWE Professional Services Company

Deveron Q. Sanders, PE  Digitally signed by Deveron Q. Sanders, PE  
DN: c=US, E=dsanders@rowepsc.com,  
OU=1, O=ROWE Professional Services  
Company, CN=Deveron Q. Sanders, PE  
Date: 2023.12.22 10:54:00-05'00'

Deveron Q. Sanders, PE  
Project Engineer

R:\Projects\22C0001\Docs\Planning and Zoning Services\Planning Commission\Site Plan Review\Verizon Wireless Tower - 7235 Coldwater Road\Verizon Wireless Tower Eng Rev - 7235 Coldwater Road.docx

**Charter Township of Flushing  
Site Plan Information Checklist  
Verizon Tower 7235 Coldwater Road  
Site Plan Received Date: 11.13.2023**

<b>Sec. 36-1902 Site Plan Review Requirements</b>				
<i>Required Information</i>	<i>Does Site Plan Include This Information</i>			
	Yes	No	N/A	Comment
A site plan drawn to a scale of 1-inch equals 20 feet.		<b>X</b>		Sheet 2. 1 inch equal to 30 ft.
(a) Statistical data including: number of dwelling units, size of dwelling units (e.g., one-bedroom, two-bedroom, and three-bedroom), if any, and total gross acreage involved. In all other cases, the location, type, horsepower, fuel, dimensions and other data of all machinery to be used on the proposed site.	<b>X</b>			Sheet 2.
(b) The location of principal and accessory buildings on the lot and the relationship of each structure to the other.	<b>X</b>			Sheet 1
(c) Vehicular traffic and pedestrian circulation features within and without the site.	<b>X</b>			Sheet 1
(d) The location and dimensions of all off-street parking areas including maneuvering lanes, service lanes, off-street loading spaces and other service areas within the development.			<b>X</b>	
(e) The location, dimensions and proposed use of all on-site recreation areas, if any.			<b>X</b>	
(f) The location of all proposed landscaping, fences or walls.	<b>X</b>			Sheet 2
(g) The height and dimensions of all structures.	<b>X</b>			Sheet 2
(h) Front, rear and side elevations of any typical structure proposed for development.			<b>X</b>	
(i) The location and capacity of private or public water and sanitary services and solid waste disposal facilities servicing the site.			<b>X</b>	
(j) The locations, dimensions and lighting of all signs.			<b>X</b>	
(k) The location, intensity and orientation of all lighting.			<b>X</b>	
(l) A location map indicating the relationship of the site to the surrounding land use for an area of not less than 1 square mile.	<b>X</b>			Sheet 1
(m) A physiographic map showing the natural topography, the soil types, and suitability for intended use, natural features such as wood lots, lakes, drains, streams, and ditches, and surface coverage data (such as paved areas and structures) related to storm water runoff characteristics.	<b>X</b>			Sheet 1
(n) The site plan shall be sealed by a professional engineer, architect, landscape architect or community planner.	<b>X</b>			Sheet 1
(o) Location and size of interior and exterior areas and structures to be used for storage use, loading/unloading, recycling, or disposal of hazardous substances.			<b>X</b>	

### Sec. 36-1902 Site Plan Review Requirements

<i>Required Information</i>	<i>Does Site Plan Include This Information</i>			
	Yes	No	N/A	Comment
(p) Location of all underground and above ground storage tanks for such uses as fuel storage, waste oil holding tanks, chemical storage, hazardous waste storage, collection of contaminated storm water or wash water, and all similar uses.			<b>X</b>	
(q) Location of exterior drains, dry wells, catch basins, retention/detention areas, sumps and other facilities designed to collect, store to transport storm water or waste water. The point of discharge for all drains and pipes shall be specified on the site plan.	<b>X</b>			Sheet 1
(r) Delineation of areas on the site which are known or suspected to be contaminated, together with a report on the status of site cleanup.			<b>X</b>	
(s) Submission of the "Hazardous Substances Reporting Form for Site Plan Review."			<b>X</b>	
(t) Submission of the "State/County Environmental Permits Checklist."			<b>X</b>	Provided.
(u) 100 year floodplain.			<b>X</b>	Not in flood plain
(v) Topographic lines at 1' intervals.	<b>X</b>			Sheet 3
(w) Proposed and existing utilities including water, sewer, storm sewer and lighting.	<b>X</b>			Sheet 1
(x) Driveway location.	<b>X</b>			Sheet 1
(y) Current zoning of parcel and if the proposed use is not permitted in the district the parcel is zoned, an indication as to the proposed zoning.	<b>X</b>			Sheet 1
(z) Statement on the plan as to whether wetlands exist on the site.	<b>X</b>			Sheet 1. No wetlands

R:\Projects\22C0001\Docs\Planning and Zoning Services\Planning Commission\Special Land Use\Verizon Tower\Verizon Tower Flushing Twp- Site Plan Review Information Checklist.docx



December 22, 2023

Ms. Vicki Bachas  
Flushing Township Clerk  
6524 N. Seymour Road  
Flushing, MI 48433

RE: Site Plan Review and Special Land Use – 7235 Coldwater Road - Verizon Cell Tower

Dear Ms. Bachas:

ROWE Professional Services Company is in receipt of a site plan and special land use application for a Verizon Cell Tower located at 7235 Coldwater Road. The proposed activity is to include a mono pole design tower with no proposed guyed wires. The subject parcel is zoned Residential Suburban Agricultural District (RSA).

ROWE has completed a review of the site plan against township zoning ordinance standards and found the site plan submitted has items that are deficient relative to standards, which are outlined in this letter. We have also attached checklists that provide additional information regarding zoning ordinance requirements. Please note that the Planning Commission may waive any of the following requirements on an individual basis or by general rule where the information is not necessary to determine compliance with the zoning ordinance requirements. Additionally, we have provided the standards of approval for special land use. Below we have provided comments in **Bold**.

#### **Planning Comments:**

##### **Information Requirements**

The following items from the list of informational requirements for a site plan in Section 36-1902 Site Plan Review Requirements of the Township Zoning Ordinance were not included to the exact standard. The letter at the beginning of each item references where the information requirement is located.

- Before any building permit shall be issued, a site plan drawn to a scale of one (1) inch equals twenty (20) feet, and at least two (2) copies of this site plan shall be submitted to the township clerk. Such site plan shall contain the following information: **On sheet 2, the applicant provided drawings at 1 inch equal to 30 feet.**

### Zoning Compliance

The following items were identified as potential zoning ordinance compliance issues.

- Sec. 36-405. Clear Vision Zone. Does the development meet the requirement to have a 25-foot area from the intersection of 2 public right-of-way with no structure, objects, or existing topography over 2 feet, besides some tree exceptions? - **It appears there is nothing located within the corner clearance area, please include the clearance area on the plan.**
- Sec. 36-406. Curb Cuts and Driveways. Do any proposed curb cuts or driveways have approval from the Genesee County Road Commission for curb cuts or driveways? - **Have the curb cuts and driveway been approved by the road commission.**

### Special Land Use Permits Requirements Section 36 - 1805

The following items were identified as potential special land use compliance issues.

- E4 (b) At a tower site, the design of the buildings and related structures shall, to the extent possible, use materials, colors, textures, screening, and landscaping that will blend them into the natural setting and surrounding buildings. - **No elevation design provided. Per applicant ground equipment will be a steel finish and that existing vegetation will provide screening. More details need to be provided.**
- E6. State or Federal Requirements All towers must meet or exceed current standards and regulations of the Federal Aviation Administration (FAA), the Federal Communications Commission (FCC), and any other agency of the state or federal government with the authority to regulate towers and antennas. - **Site plan notes it will meet FCC regulations. Site plans do not note FAA and State of Michigan regulations.**
- H2 a 5. A landscape plan showing specific landscape material. **Applicant states that natural vegetation will provide adequate vegetation. More details need to be provided.**
- I 2 a 1. In a front or side yard provided the cabinet or structure is no greater than 9 feet in height or 312 square feet of gross floor area and the cabinet/structure is located a minimum of 25 feet from all lot lines. The cabinet/structure shall be screened by an evergreen hedge with an ultimate height of at least 42-48 inches and a planted height of at least 36 inches. **No details provided regarding structure supporting mono pole tower. Screening is required and no plans have been provided.**
- I 2 a 2. In a rear yard, provided the cabinet or structure is no greater than 9 feet in height or 312 square feet in gross floor area. The cabinet/structure shall be screened by an evergreen hedge with an ultimate height of six (6) feet and a planted height of at least 36 inches. **No details provided regarding structure supporting mono pole tower. Screening is required and no plans have been provided.**

In addition to these comments, we have attached checklist which contain additional information for your use. We have also prepared approval standards and comments.



Ms. Vicki Bachas  
December 22, 2023  
Page 3

Regulatory and other governmental agencies with jurisdiction may have additional comments or requirements. The developer and designer remain responsible for the design, construction, and any resulting impacts of the project. If you have any questions or require additional information, please contact me at [ahritcu@rowepsc.com](mailto:ahritcu@rowepsc.com) or (810) 341-7500.

Sincerely,  
ROWE Professional Services Company

Alex C.  
Hritcu, AICP

Digitally signed by Alex C.  
Hritcu, AICP  
Date: 2023.12.21  
17:55:35 -05'00'

Alex Hritcu, AICP  
Senior Planner

Attachment

CC: Flushing Township Planning Commission

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**Charter Township of Flushing**  
**Zoning Ordinance Compliance Checklist**  
**Verizon Tower 7235 Coldwater Road**  
**Site Plan Received Date: 11.13.2023**

<b>Article 3: General Provisions Requirements</b>	<i>Does Site Plan Include This Information</i>			
	Yes	No	N/A	Comment
<b>Sec. 36-304. Common Driveways.</b> Are the proper Right-of-Way (ROW) shown on the plan (33 ft ingress/egress for not more than 2 residences)? The applicant provides there are records with the Genesee County Register of Deeds, written agreement with all lot or residences to be served by the common driveway, and staked boundary survey of driveway easement.	X			Sheet 1
<b>Sec. 36-305. Private Roads.</b> Are the required information provided and the road has a minimum 66ft ROW and follow other requirements?			X	
<b>Sec. 36-309. Non Conforming Use Generally.</b> Is this a non conforming use and if so it is not being enlarged, altered, or changed in area, activity, content, and has not ceased business for a period of 1 year or more?			X	
<b>Sec. 36-310. Non Conforming Structure.</b> Is this a non conforming structure and if so there is no change in use, location, modification, or structure in setback requirements or other dimensional requirements?			X	
<b>Sec. 36-314. Non Conventional Dwellings.</b> Does any proposed dwelling comply with the prohibition against dwelling in a cellar, garage, or incompletely constructed structure after 1989?			X	
<b>Sec. 36-318. Temporary Dwelling Structure, Fixed, or Movable.</b> If a temporary structure is proposed for a dwelling, has it been granted the required Special Use Permit (SUP).			X	

<b>Article 4: Site Regulations Requirements</b>	<i>Does Site Plan Include This Information</i>			
	Yes	No	N/A	Comment
<b>Sec. 36-400. Accessory Structures.</b> Is any accessory structure being proposed that follows these requirements?			X	
<b>Sec. 36-403. Lot Sizes.</b> Is the lot not served by municipal water and sanitary sewer have a minimum lot size of 30,000 sq ft with at least 100 feet of frontage on a public road and other septic system requirements?			X	
<b>Sec. 36-404. One Family Dwelling Regulations.</b> Do any proposed the one family dwellings meet the requirements?			X	
<b>Sec. 36-405. Clear Vision Zone.</b> Does the development meet the requirement to have a 25ft area from the intersection of 2 public ROW with no structure, objects, or existing topography over 2 ft, besides some tree exceptions?	?			Sheet 1. It appears there is nothing located within the corner clearance area, please include the clearance area on the plan.
<b>Sec. 36-406. Curb Cuts and Driveways.</b> Do any proposed curb cuts or driveways have approval from the Genesee County Road Commission for curb cuts or driveways?	?			Sheet 1. Have the curb cuts and driveway been approved by the road commission.
<b>Sec. 36-408. Fences, Walls, and Other Protective Barriers.</b> Do any proposed fences conform to the Flushing Township Fence Ordinance?	X			See Sheet 2. Fence appears to comply with township standards.

## Flushing Township- Zoning Compliance Checklist

<b>Article 4: Site Regulations Requirements</b>	<i>Does Site Plan Include This Information</i>			
	Yes	No	N/A	Comment
<b>Sec. 36-409. Incinerators and Outside Trash Containers.</b> Do any proposed incinerators and outside trash containers follow these requirements?			X	
<b>Sec. 36-410. Lot Grades.</b> Does the site plan include a sloping grade cause the surface drainage to flow away from the walls of such structures and does new construction it does not jeopardize existing drainage systems?			X	No proposed grading. Sheet 1
<b>Sec. 36-411. Setback.</b> Does the site plan comply with the prohibition of parking or storage of vehicles with the required front yard in a residential district?	X			Sheet 1
<b>Sec. 36-413. Storage in Front Yard.</b> Does the proposed storage, parking of any vehicle, or permanent structure outside of the front yard?			X	
<b>Sec. 36-414. Water Supply.</b> Does the proposed development have safe, adequate, and sanitary water supply?	X			Sheet 1
<b>Sec. 36-415. Private Water Supply.</b> Does the proposed development met the requirements to have a private water supply?			X	
<b>Sec. 36-416. Performance Standards.</b> Does the proposed development meet performance standards for the below categories?	X			Sheet 1
(a) Smoke Control.				
(b) Control of Noise.				
(c) Odors.				
(d) Control of Glare or Heat.				
(e) Control of Vibrations.				
(f) Control of Radioactivity or Electrical Disturbance.				
(g) Outdoor Storage and Waste Disposal.				
<b>Sec. 36-417. Mobile Home Park Development.</b> Does the proposed mobile home park meet these requirements?			X	
<b>Sec. 36-418. Industrial Parks.</b> Does the proposed industrial park meet these requirements?			X	
<b>Sec. 36-419. Farm Animals and Horses.</b> Within the RSA district, are the requirements being met?			X	

<b>Article 5: Off Street Parking Requirements</b>	<i>Does Site Plan Include This Information</i>			
	Yes	No	N/A	Comment
<b>Sec. 36-500. Off-Street Loading and Unloading.</b> Is a loading/unloading space provided as required?			X	No requirements.
<b>Sec. 36-501. Off-Street Parking Requirements.</b> Do any proposed parking spaces meet these requirements?			X	No requirements.

<b>Sec. 36-501(b)(1) Off-Street Parking Requirements</b>	Required	Provided
Parking Spaces-	N/A	0
Barrier Free Spaces-	N/A	0
Loading Spaces-	N/a	0

**Article 7: District Requirements**

What is the use: Communication Tower

Is use permitted in the district it is located in    Y    By Right:       By SUP:   X

**Sec. 36-701 Table of District Regulations**

<i>District Requirement</i>	<b>Ordinance Standard</b>	<b>Proposed Plot Plan</b>
Minimum Lot Area (sq. ft.)	30,000	Over 900,000
Minimum Lot Width (ft.)	100	1,338 ft +/-
Minimum Lot Depth (ft.)	200	1600 ft +/-
Minimum Setbacks – Front (N)	20	1365 ft
- Sides (E)	10	200 ft
- Sides (W)	10	1138 ft
- Rear (S)	25	600 ft +/-
Maximum Building Height (Stories)	2.5 story	195
Maximum Lot Coverage (%)	-	-
Are there any required conditions for this district?		

**Article 18: Special Use Permits Requirements**  
**Sec. 36 – 1805**

*Does Site Plan Include This Information*

	<i>Does Site Plan Include This Information</i>			<b>Comment</b>
	<b>Yes</b>	<b>No</b>	<b>N/A</b>	
E1. Principal or Accessory Use Antennas and towers may be considered either principal or accessory uses. A different existing use of an existing structure on the same lot shall not preclude the installation of an antenna or tower on such lot.	<b>X</b>			Accessory Use to site.
E2. Lot Size For purposes of determining whether the installation of a tower or antenna complies with district development regulations, including but not limited to setback requirements, lot-coverage requirements, and other such requirements, the dimensions of the entire lot shall control, even though the antennas or towers may be located on leased parcels within such lot.	<b>X</b>			Meets setback requirements
E3. Inventory of Existing Sites Each applicant for an antenna and/or tower shall provide to the Zoning Administrator an inventory of its existing towers, antennas, or sites approved for towers or antennas, that are either within the jurisdiction of the Township or within one mile of the border thereof, including specific information about the location, height, and design of each tower. The Zoning Administrator may share such information with other applicants applying for an administrative approval or Use After Special Approval under this section or other organizations seeking to locate antennas within the jurisdiction of the Township, provided, however that the Zoning Administrator is not, by sharing such information, in any way representing or warranting that such sites are available or suitable.	<b>X</b>			Map provided with location of existing towers.

## Flushing Township- Zoning Compliance Checklist

<b>Article 18: Special Use Permits Requirements Sec. 36 – 1805</b>	<i>Does Site Plan Include This Information</i>			
	Yes	No	N/A	Comment
E4. Aesthetics Towers and antennas shall meet the following requirements:  (a) Towers shall either maintain a galvanized steel finish or, subject to any applicable standards of the FAA, be painted a neutral color so as to reduce visual obtrusiveness.	<b>X</b>			No design provided. Applicant states it will be a monopole design with galvanized grey color
E4 (b) At a tower site, the design of the buildings and related structures shall, to the extent possible, use materials, colors, textures, screening, and landscaping that will blend them into the natural setting and surrounding buildings.		<b>X</b>		No elevation design provided. Per applicant ground equipment will be a steel finish and that existing vegetation will provide screening. More details need to be provided.
E4 (c) If an antenna is installed on a structure other than a tower, the antenna and supporting electrical and mechanical equipment must be of a neutral color that is identical to, or closely compatible with, the color of the supporting structure so as to make the antenna and related equipment as visually unobtrusive as possible.			<b>X</b>	
E5. Lighting Towers shall not be artificially lighted, unless required by the FAA or other applicable authority. If lighting is required, the lighting alternatives and design chosen must cause the least disturbance to the surrounding views.	<b>X</b>			Light is not proposed.
E6. State or Federal Requirements All towers must meet or exceed current standards and regulations of the FAA, the FCC, and any other agency of the state or federal government with the authority to regulate towers and antennas. If such standards and regulations are changed, then the owners of the towers and antennas governed by this section shall bring such towers and antennas into compliance with such revised standards and regulations within six (6) months of the effective date of such standards and regulations, unless a different compliance schedule is mandated by the controlling state or federal agency. Failure to bring towers and antennas into compliance with such revised standards and regulations shall constitute grounds for the removal of the tower or antenna at the owner's expense.	<b>?</b>			Site plan notes it will meet FCC regulations.  Site plans do not note FAA and State of Michigan regulations.
E7. Building Codes, Safety Standards To ensure the structural integrity of towers, the owner of a tower shall ensure that it is maintained in compliance with standards contained in applicable state or local building codes and the applicable standards for towers that are published by the Electronic Industries Association, as amended from time to time. If, upon inspection, the Township concludes that a tower fails to comply with such codes and standards and constitutes a danger to persons or property, then upon notice being provided to the owner of the tower, the owner shall have thirty (30) days to bring such tower into compliance with such standards. Failure to bring such tower into compliance within said thirty (30) days shall constitute grounds for the removal of the tower or antenna at the owner's expense.	<b>X</b>			Per site plan applicant will comply.
E8. Measurement For purposes of measurement, tower setbacks and separation distances shall be calculated and applied to facilities located in the Township irrespective of	<b>X</b>			Per site plan applicant will comply.

Article 18: Special Use Permits Requirements Sec. 36 – 1805	Does Site Plan Include This Information			
	Yes	No	N/A	Comment
municipal and county jurisdictional boundaries.				
E9. Not Essential Service Towers and antennas shall be regulated and permitted pursuant to this section and shall not be regulated or permitted as essential services, public utilities, or private utilities.			X	
E10. Franchises Owners and/or operators of towers or antennas shall certify that all franchises required by law for the construction and/or operation of a wireless communication system in the Township have been obtained and shall file a copy of all required franchises with the Zoning Administrator.	X			Applicant has a license from FCC and shall provide to township.
E11. Public Notice For purposes of this section, any Use After Special Approval request, variance request, or appeal of an administratively approved use or Use After Special Approval shall require public notice to all abutting property owners and all property owners of properties that are located within the corresponding separation distance listed in Section H(2)(g)(1), Table 2, in addition to any notice otherwise required by the Zoning Ordinance.			X	
E12. Signs A small sign no larger than 8" x 8" shall be affixed to the base of each tower, or to the gate of any fence surrounding the tower; and shall set forth the name of the owner of the tower, the owner's address and telephone number, and the name or title and telephone number of a person to be contacted in the event of an emergency relating to the tower. No other signs shall be allowed on an antenna or tower.	X			Per site plan applicant will comply.
E13. Buildings and Support Equipment Buildings and support equipment associated with antennas or towers shall comply with the requirements of Section 9.	X			Per site plan applicant will comply.
E14. Multiple Antenna/Tower Plan The Township encourages the users of towers and antennas to submit a single application for approval of multiple towers and/or antenna sites. Applications for approval of multiple sites shall be given priority in the review process.	X			
H1. General The following provisions shall govern the granting of a Use after Special Approval for towers or antennas by the Planning Commission:			X	
H2 a. Towers. Information required. In addition to any information required for applications for Use After Special Approval, (as outlined on the permit document), applicants for a Use After Special Approval for a tower shall submit the following information:	X			Per applicant see exhibit B.
H2 a 1. A scaled site plan clearly indicating the location, type and height of the proposed tower, on-site land uses and zoning, adjacent land uses and zoning (including when adjacent to other municipalities), Master Plan classification of site and all properties within the applicable separation distances set forth in Section G(2)(e), adjacent roadways, proposed means of access, setbacks from property lines, elevation drawings of the proposed tower and any other structures, topography, parking, and other information deemed by the Planning Commission to be necessary to assess compliance with this section.	X			See exhibit B
H2 a 2. Legal description of the parent tract and leased parcel (if applicable).	X			See exhibit B

## Flushing Township- Zoning Compliance Checklist

<b>Article 18: Special Use Permits Requirements Sec. 36 – 1805</b>	<i>Does Site Plan Include This Information</i>			
	Yes	No	N/A	Comment
H2 a 3. The setback distance between the proposed tower and the nearest residential unit, platted residentially zoned properties, and unplatted residentially zoned properties.	<b>X</b>			Near residence is 984 ft away.
H2 a 4. The separation distance from other towers described in the inventory of existing sites submitted pursuant to subsection (E)(3) shall be shown on an updated site plan or map. The applicant shall also identify the type of construction of the existing tower(s) and the owner/operator of the existing tower(s), if known.	<b>X</b>			Nearest tower is 1.7 miles away.
H2 a 5. A landscape plan showing specific landscape material.		<b>X</b>		Applicant states that natural vegetation will provide adequate vegetation. More details need to be provided.
H2 a 6. Method of fencing, and finished color and, if applicable, the method of camouflage and illumination.	<b>X</b>			Six-foot-high chain link fence with three strains of barbwire on top is proposed.
H2 a 7. A description of compliance with subsections (E)(3), (4), (5), (6), (7), (10), (12), and (13), (F)(2)(d), (H)(2)(e) and all applicable federal, state or local laws.	<b>X</b>			Please see above.
H2 a 8. A notarized statement by the applicant as to whether construction of the tower will accommodate collocation of additional antennas for future users.	<b>X</b>			Applicant will accommodate two additional wireless carriers.
H2 a 9. Identification of the entities providing the backhaul network for the tower(s) described in the application and other cellular sites owned or operated by the applicant in the municipality. The backhaul provider must be the holder of a telephone franchise in Flushing Township.	<b>X</b>			Applicant states that backhaul provider will be determined when bid process is complete with local fiber optic providers. If fiber is not available, then microwaves will be used.
H2 a 10. A description of the suitability of the use of existing towers, other structures or alternative technology not requiring the use of towers or structures to provide the services to be provided through the use of the proposed new tower.	<b>X</b>			Per applicant no towers exist that meet Verizon's coverage objectives. See Exhibit D
H2 a 11. A description of the feasible location(s) of future towers or antennas within the Township based upon existing physical, engineering, technological or geographical limitations in the event the proposed tower is erected.			<b>X</b>	There are no additional towers proposed.
H2 a 12. A statement verifying a "safe fall" zone for the tower, antenna or pole, including any and all attachments, shall be certified and sealed by a licensed engineer or architect and furnished with the application. Manufacturer's specifications of a safe fall zone may be substituted. No building, sidewalk, parking lot or other area in which pedestrian or vehicular traffic is anticipated shall be permitted within the safe fall area.	<b>X</b>			See Exhibit E.
H2 a 13. A statement verifying that the tower, antenna or pole, including any and all attachments, will withstand wind speeds of up to 100 m.p.h. with no ice and 74 m.p.h. with up to 1/2 inch radial ice, shall be certified and sealed by a licensed engineer or architect and furnished with the application. Manufacturer's specifications may be substituted.	<b>X</b>			See Exhibit E.
H2 a 14. The system shall be certified by a licensed engineer to verify that the signal(s) being transmitted will not interfere with the ability of surrounding uses to receive signals from different radio, television, telephone or other electronic equipment.	<b>X</b>			Regulated by FCC.
H2 b 1. Height of the proposed tower;	<b>X</b>			195 feet.



Article 18: Special Use Permits Requirements Sec. 36 – 1805	Does Site Plan Include This Information			
	Yes	No	N/A	Comment
H2 b 2. Proximity of the tower to residential structures and residential district boundaries;	X			984 feet
H2 b 3. Nature of uses on adjacent and nearby properties;	X			Rural residential and farmland
H2 b 4. Surrounding topography;	X			no rolling hills.
H2 b 5. Surrounding tree coverage and foliage;	X			Trees surround the site.
H2 b 6. Design of the tower, with particular reference to design characteristics that have the effect of reducing or eliminating visual obtrusiveness;	X			Mono pole design. No guyed or lattice tower.
H2 b 7. Proposed ingress and egress;	X			Easement and access drive off Coldwater Road.
H2 b 8. Availability of suitable existing towers, other structures, or alternative technologies not requiring the use of towers or structures, as discussed in Section G(2)(c) of this ordinance.	X			There are no towers in the vicinity. See Exhibit D.
H2 c 1. No existing towers or structures are located within the geographic area which meet applicant's engineering requirements.	X			There are no towers in the vicinity. See Exhibit D.
H2 c 2. Existing towers or structures are not of sufficient height to meet applicant's engineering requirements.	X			No towers within 1.7 miles.
H2 c 3. Existing towers or structures do not have sufficient structural strength to support applicant's proposed antenna and related equipment.	X			No towers within 1.7 miles
H2 c 4. The applicant's proposed antenna would cause electromagnetic interference with the antenna on the existing towers or structures, or the antenna on the existing towers or structures would cause interference with the applicant's proposed antenna.			X	Regulated by FCC.
H2 c 5. The fees, costs, or contractual provisions required by the owner in order to share an existing tower or structure or to adapt an existing tower or structure for sharing are unreasonable. Costs exceeding new tower development are presumed to be unreasonable.			X	No towers within 1.7 miles
H2 c 6. The applicant demonstrates that there are other limiting factors that render existing towers and structures unsuitable.			X	No tower within 1.7 miles which are owned and operated by Verizon and are too far to cover subject area.
H2 c 7. The applicant demonstrates that an alternative technology that does not require the use of towers or structures, such as a cable microcell network using multiple low-powered transmitters/receivers attached to a wireline system, is unsuitable. Costs of alternative technology that exceed new tower or antenna development shall not be presumed to render the technology unsuitable.			X	No alternative technology. Micro cells operate at 600 ft distance for urban areas.
H2 d 1. Towers must be set back a distance equal to at least seventy-five percent (75%) of the height of the tower from any adjoining lot line.	X			Tower is set back 200 ft. from property line. Tower is 195 ft.
H2 d 2. Guys and accessory buildings must satisfy the minimum zoning district setback requirements.	X			Setback requirements are met.
H2 e. Separation. The following separation requirements shall apply to all towers and antennas for which a Use after Special Approval is required; provided, however, that the Planning Commission may reduce the standard separation requirements if the goals of this section would be better served thereby.	X			Setback requirements are met.

## Flushing Township- Zoning Compliance Checklist

<b>Article 18: Special Use Permits Requirements Sec. 36 – 1805</b>	<i>Does Site Plan Include This Information</i>			<b>Comment</b>
	Yes	No	N/A	
H2 f 1. Tower separation shall be measured from the base of the tower to the lot line of the off-site uses and/or designated areas as specified in Table 1, except as otherwise provided in Table 1.	<b>X</b>			Setback requirements are meet.
H2 f 2. Separation requirements for towers shall comply with the minimum standards established in Table 1.	<b>X</b>			Setback requirements are meet.
H2 g 1. Separation distances between towers shall be applicable for and measured between the proposed tower and preexisting towers. The separation distances shall be measured by drawing or following a straight line between the base of the existing tower and the proposed base, pursuant to a site plan, of the proposed tower. The separation distances (listed in linear feet) shall be as shown in Table 2.	<b>X</b>			Nearest tower is 1.7 miles away. Setback requirements are meet.
H2 h. Security fencing. Towers shall be enclosed by security fencing not less than six feet in height and shall also be equipped with an appropriate anti-climbing device; provided however, that the Planning Commission may waive such requirements, as it deems appropriate.	<b>X</b>			Six-foot fence is proposed.
H2 I 1. Tower facilities shall be landscaped with a buffer of plant materials that effectively screens the view of the tower compound from property used for residences. The standard buffer shall consist of a landscaped strip at least four (4) feet wide outside the perimeter of the compound.	<b>X</b>			Applicant states that existing frees will provide screening of tower base.
H2 I 2. In locations where the visual impact of the tower would be minimal, the landscaping requirement may be reduced or waived.	<b>X</b>			See site plan.
H2 I 3. Existing mature tree growth and natural land forms on the site shall be preserved to the maximum extent possible. In some cases, such as towers sited on large, wooded lots, natural growth around the property perimeter may be sufficient buffer.	<b>X</b>			See site plan.
I 1 a. The cabinet or structure shall not contain more than 312 square feet of gross floor area or be more than 9 feet in height. In addition, for buildings and structures which are less than sixty-five (65) feet in height, the related unmanned equipment structure, if over 200 square feet of gross floor area, shall be located on the ground and shall not be located on the roof of the structure.	<b>X</b>			
I 1 b. If the equipment structure is located on the roof of a building, the area of the equipment structure and other equipment and structures shall not occupy more than 25 percent of the roof area.			<b>X</b>	
I 1 c. Equipment storage buildings or cabinets shall comply with all applicable building codes.	<b>X</b>			
I 2 a 1. In a front or side yard provided the cabinet or structure is no greater than 9 feet in height or 312 square feet of gross floor area and the cabinet/structure is located a minimum of 25 feet from all lot lines. The cabinet/structure shall be screened by an evergreen hedge with an ultimate height of at least 42-48 inches and a planted height of at least 36 inches.		<b>X</b>		No details provided regarding structure supporting mono pole tower. Screening is required and no plans have been provided.
I 2 a 2. In a rear yard, provided the cabinet or structure is no greater than 9 feet in height or 312 square feet in gross floor area. The cabinet/structure shall be screened by an evergreen hedge with an ultimate height of six (6) feet and a planted height of at least 36 inches.		<b>X</b>		No details provided regarding structure supporting mono pole tower. Screening is required and no plans have been provided.

Article 18: Special Use Permits Requirements Sec. 36 – 1805	Does Site Plan Include This Information			
	Yes	No	N/A	Comment
I 2 b. In commercial or industrial districts the equipment cabinet or structure shall be no greater than 9 feet in height or 312 square feet in gross floor area. The structure or cabinet shall be screened by an evergreen hedge with an ultimate height of eight (8) feet and a planted height of at least 36 inches. In all other instances, structures or cabinets shall be screened from view of all residential properties which abut or are directly across the street from the structure or cabinet by a solid fence 8 feet in height or an evergreen hedge with an ultimate height of eight (8) feet and a planted height of at least 36 inches.			X	
I 3. Antennas Located on Towers The related unmanned equipment structure shall not contain more than 312 square feet of gross floor area or be more than 9 feet in height, and shall be located in accordance with the minimum yard requirements of the zoning district in which located.			X	
I 4. Modification of Building Size Requirements The requirements of Section (I)1. through 3. may be modified by the Zoning Administrator in the case of administratively approved uses or by the Planning Commission in the case of uses permitted by special use to encourage collocation.			X	
J. Any antenna or tower that is not operated for a continuous period of twelve (12) months shall be considered abandoned, and the owner of such antenna or tower shall remove the same within ninety (90) days of receipt of notice from the Township notifying the owner of such abandonment. Failure to remove an abandoned antenna or tower within said ninety-(90) day shall be grounds to remove the tower or antenna at the owner's expense. If there are two or more users of a single tower, then this provision shall not become effective until all users cease using the tower.			X	

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# SPECIAL USE PERMIT REQUEST FORM

Special Use Permit Request Cas No. \_\_\_\_\_  
Variance Fee: \_\_\_\_\_  
Date Paid: 12/12/23  
Date Notice was Published: \_\_\_\_\_  
Date of Public Hearing: 085AMZ4  
Affidavit Attached: yes      \$650.00 # 40581

RECEIVED

DEC 21 2023  
12 CSC  
CHARTER TOWNSHIP  
OF FLUSHING

## FLUSHING TOWNSHIP PLANNING COMMISSION SPECIAL USE PERMIT REQUEST

Required information from owner or person having interest in requesting Planning Commission (PC) review and opinion.

1. Name of applicant/owner requesting PC review and opinion

A. Applicant

Name: Towerco 2013 LLC and Celco Partnership dba Verizon Wireless  
Address: 5000 Valleystone Drive, Cary, NC 27519

Phone: 248-613-4399

B. Owner of property (if different than above)

Name: Katherine M. Kareus  
Address: 7235 Coldwater Road, Flushing, MI 48433

Phone: [REDACTED]

2. Location of Property

Street number and name: 7235 W. Coldwater Road  
Property tax identification number: 08-24-200-036  
Legal description of property involved: See attached site plan.

List deed restrictions and easements: None that effect the proposed project.

Present zoning of property: RSA

3. With all requests, a site plan must be submitted (se attached site plan form)
4. Answer the following questions of the affidavit:

a. What is the purpose of the request for a Special Use Permit?

Installation of an unmanned wireless communication facility including a 195' monopole tower, equipment cabinets located on a concrete pad, back-up power generator, and a 1,000 gallon propane tank.

**ACKNOWLEDGEMENT AND CERTIFICATION:** It is hereby acknowledged that the applicant(s) has fully read and completed the above application. It is also understood that in case of cancellation or failure of the owner or his representative to appear at the hearing, I understand that all fees will be forfeited.

Stacy 090 TOWNSCO 2013 UC #  
Signature of Applicant VERIZON WIRELESS

Katherine Pareus  
Signature of Owner (If different than the applicant)

**PLANNING COMMISSION:**

The Planning Commission (PC) having reviewed the submitted data do hereby:

( ) APPROVE ( ) DISAPPROVE the application for the following reasons: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

If approved, are there conditions? \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_  
Chairperson